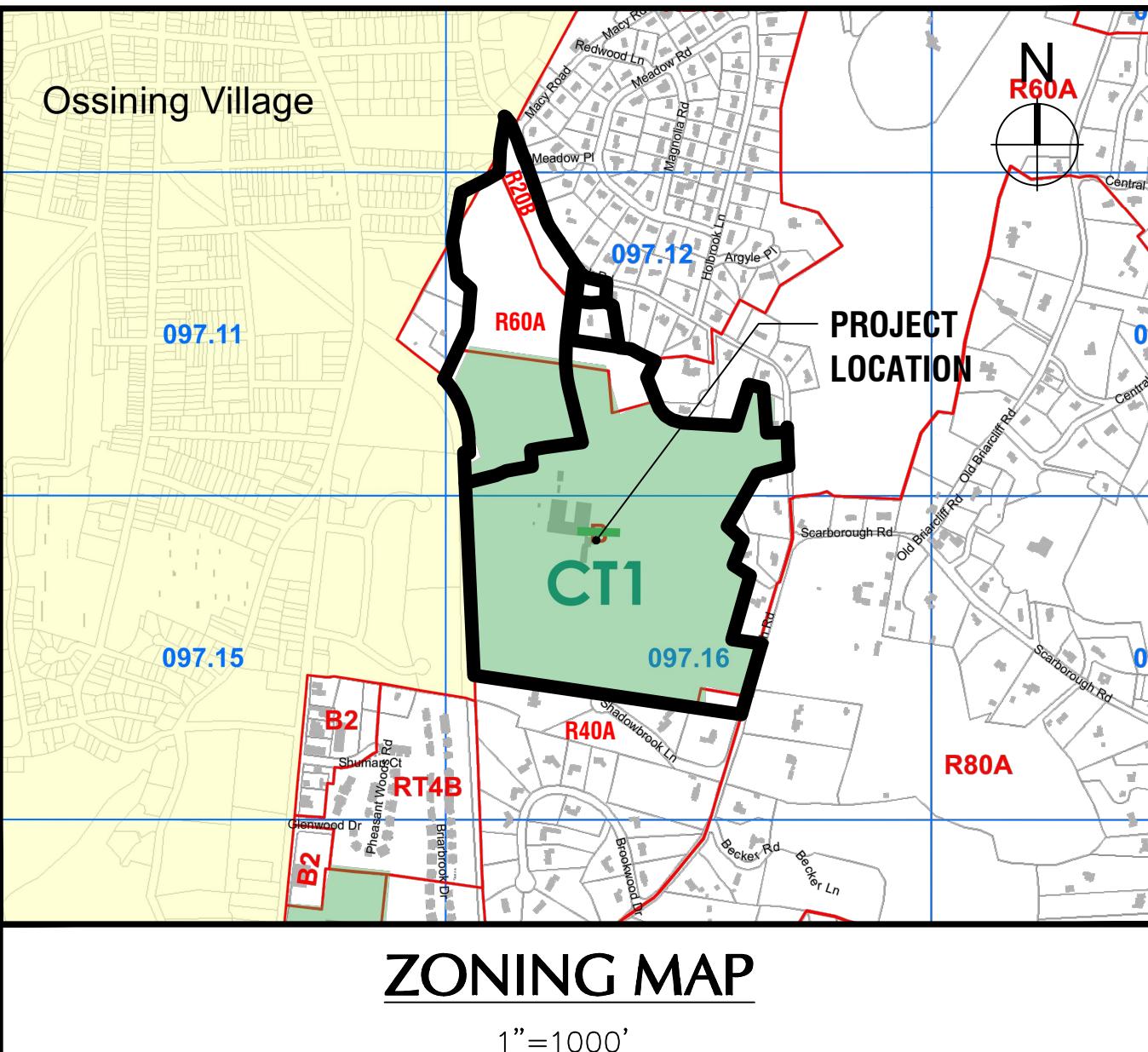
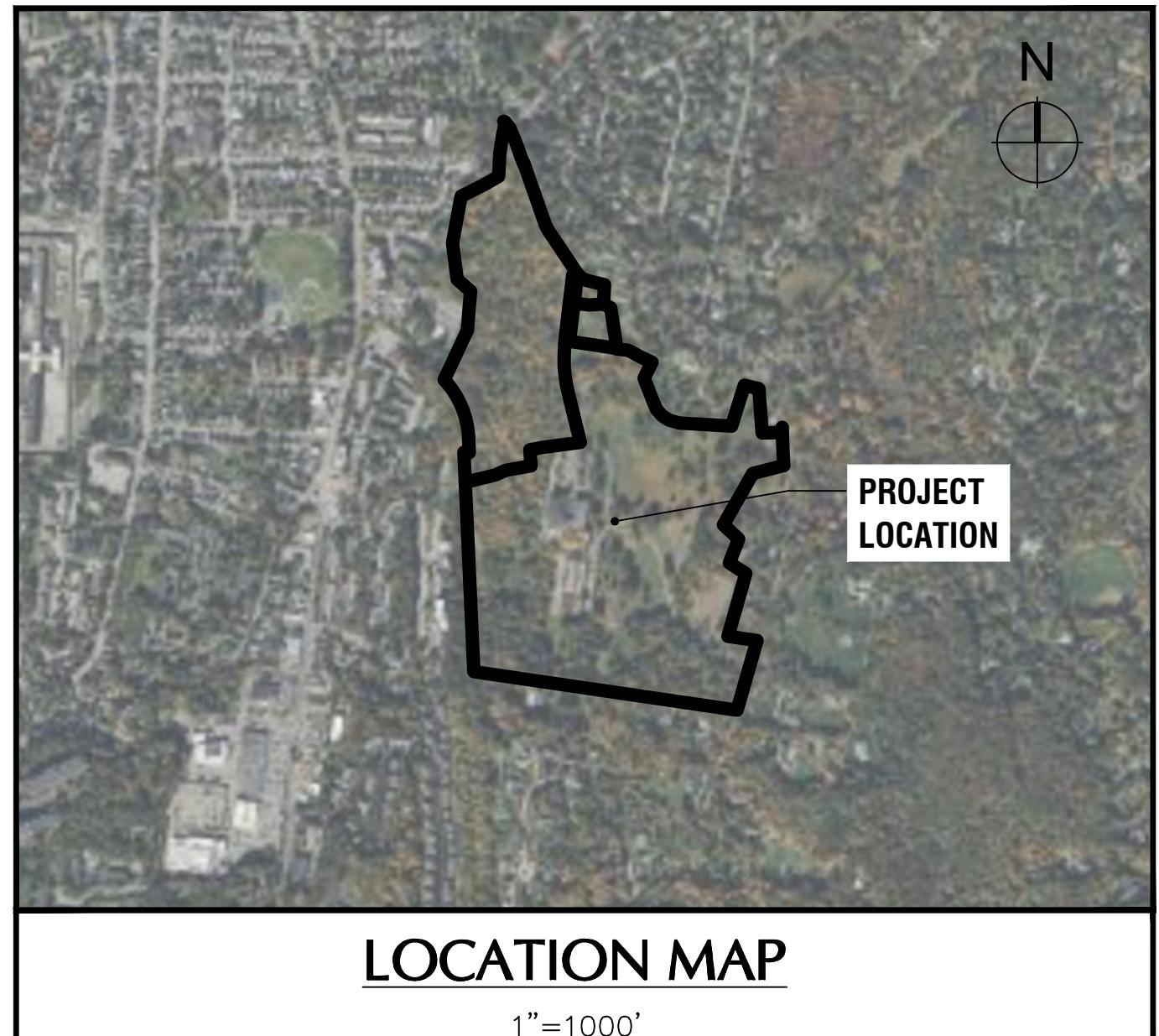
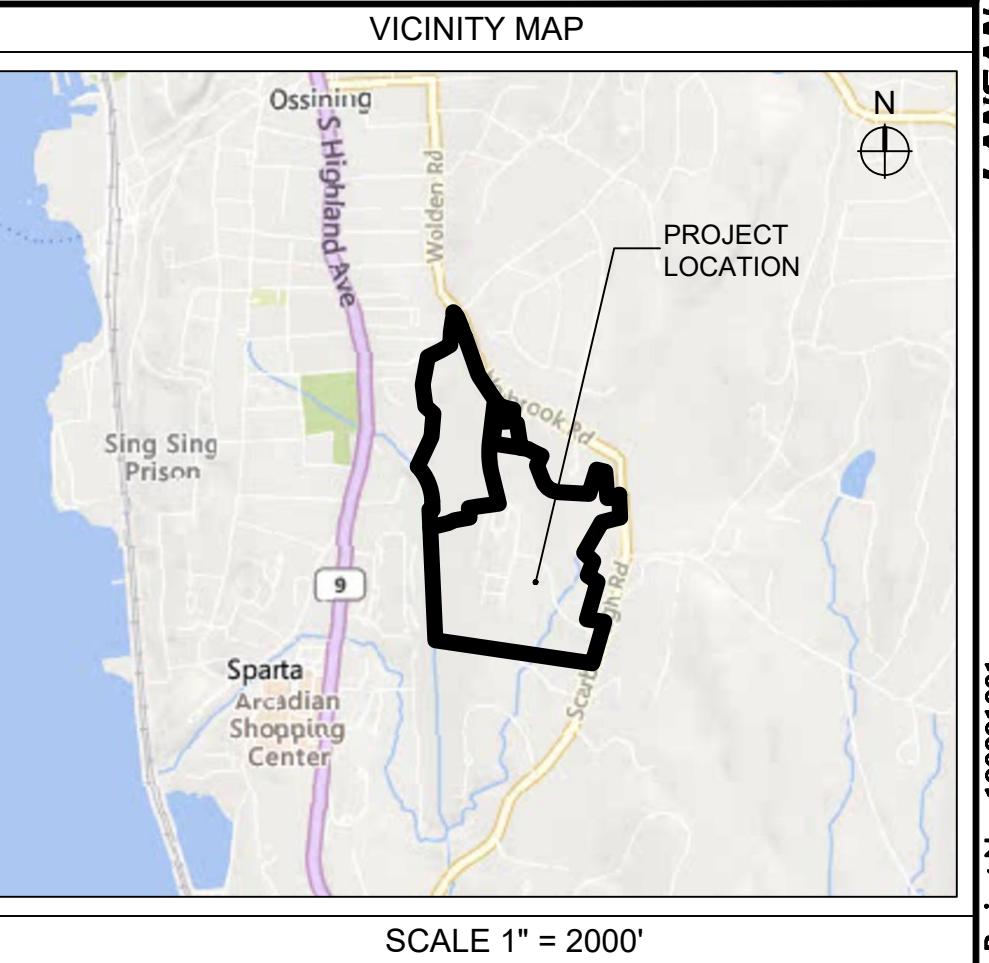


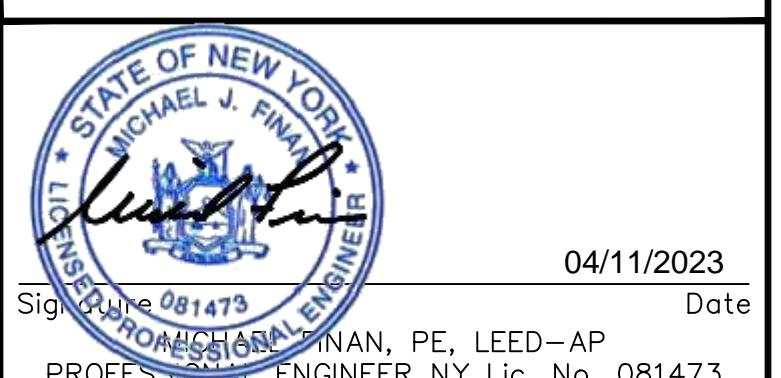
## **CIVIL ENGINEERING & SITE PLANS**

**SITE PLAN REVIEW DRAWINGS  
FOR  
BRIARCLIFF SOLAR, LLC  
VILLAGE OF BRIARCLIFF MANOR  
WESTCHESTER COUNTY, NEW YORK**



Date	Description	No.
Revisions		

**WARNING:** IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 148 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.



**LANGAN**  
Langan Engineering, Environmental, Surveying,  
Landscape Architecture, and Geology, D.P.C.  
One North Broadway, Suite 910  
White Plains, NY 10601  
T: 914.323.7400 F: 914.323.7401 www.langan.com

Project

**BRIARCLIFF SOLAR, LLC**

VILLAGE OF BRIARCLIFF MANOR  
WESTCHESTER COUNTY NEW YORK  
Drawing Title

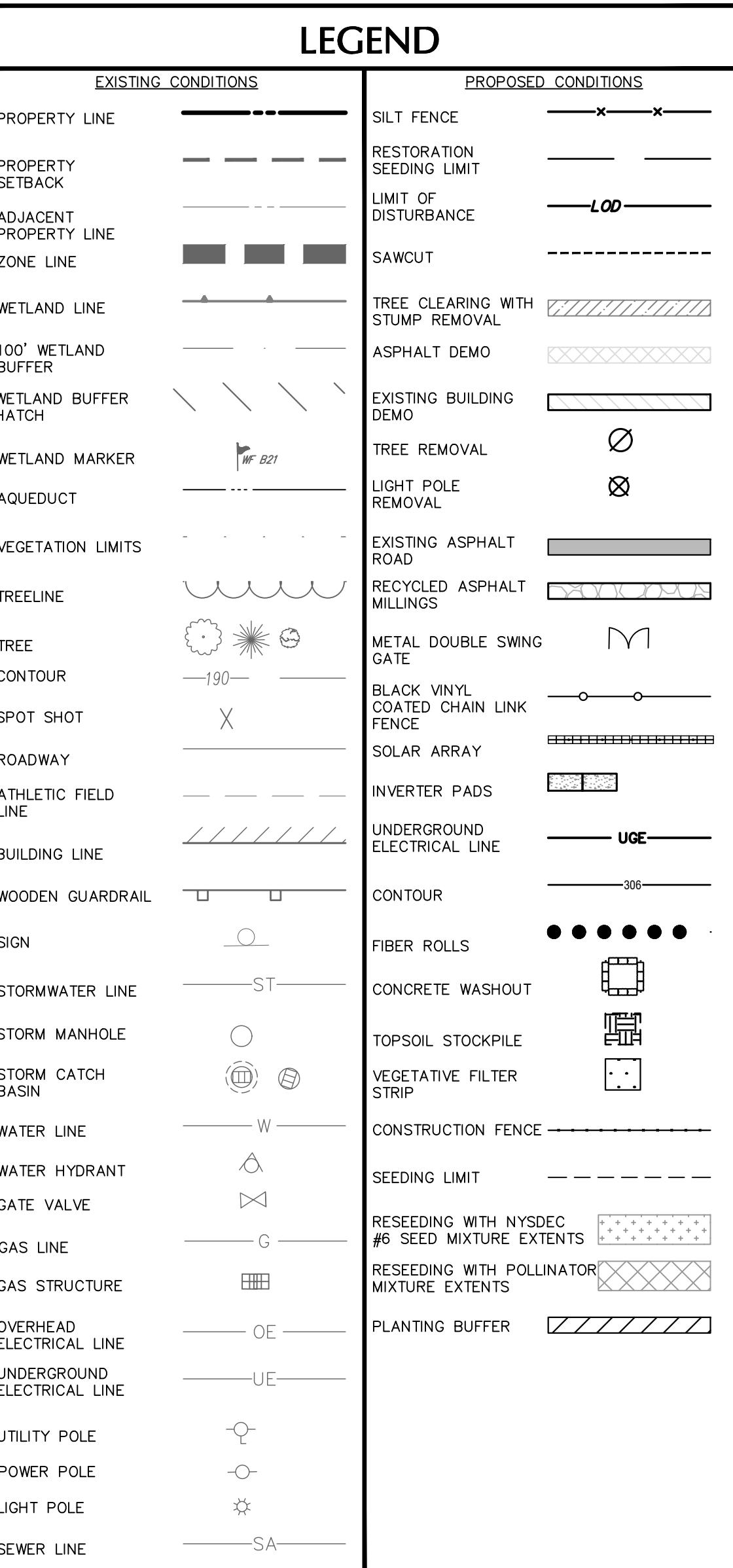
**TITLE SHEET**

Project No.	Drawing No.
190091001	C000
Date	04/04/2023
Drawn By	SF
Checked By	CZ
Sheet	1 of 37

SITE INFORMATION		
ADDRESS:	345 SCARBOROUGH RD	BRIARCLIFF MANOR, NY 10510
TAX ID:	97.16-1-1	& 97.12-19
ACREAGE:	95.5	ACRES
ZONE:	COMPLIMENTARY USE TRANSITION 1 (CT1) & RESIDENTIAL 60 (R60)	

APPLICANT		
BRIARCLIFF SOLAR, LLC.	79 MADISON AVENUE, 8TH FLOOR	NEW YORK, NY 10016
TELEPHONE:	212-389-9215	
CONTACT:	DAVID MAGID	

CIVIL ENGINEER		
LANGAN ENGINEERING, ENVIRONMENTAL, SURVEYING, LANDSCAPE ARCHITECTURE AND GEOLOGY, D.P.C.	ONE NORTH BROADWAY, SUITE 910	WHITE PLAINS, NY 10604
TELEPHONE:	914-323-7400	
CONTACT:	CHRISTINA M. ZOLEZI, PE	



## SURVEY NOTES

1. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY MARKERS AND RIGHT-OF-WAY MARKERS IN THE AREA OF CONSTRUCTION.
2. ANY IRON PINS, MONUMENT OR OTHER ITEMS DEFINING PROPERTY LINES WHICH ARE DISTURBED BY CONSTRUCTION OPERATIONS SHALL BE PROPERLY TIED AND ACCURATELY RESET BY A NYS LICENSED LAND SURVEYOR UPON COMPLETION OF WORK.
3. SURVEY INFORMATION SHOWN IN THIS PLAN SET WAS PROVIDED BY BIARCLIFF SOLAR, LLC.
4. THE VERTICAL DATUM IS REFERENCED TO NORTH AMERICAN VERTICAL DATUM 88 (NAVD 88).
5. THE HORIZONTAL DATUM IS REFERENCED TO NORTH AMERICAN DATUM 83 (NAVD 83) – STATE PLAIN NEW YORK WEST.
6. EXISTING WETLANDS DELINEATED BY ECOLOGICAL SOLUTIONS, LLC ON 08/24/2017.
7. PARCEL LINES AS SHOWN BY WESTCHESTER COUNTY GIS DATABASE FOR THE VILLAGE OF BIARCLIFF MANOR.

## GENERAL SITE NOTES

1. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THE INTENDED OR SPECIFIC CONDITIONS REQUIRED FOR SITELWORK CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
2. THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKE NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS, AND RESERVE AND POSSIBLY CONSTRUCTION CONDITIONS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS IF HE/SHE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER, ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
3. THE CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE AND ENGINEER PRIOR TO THE CONSTRUCTION OF THE SPECIFIC ITEMS. THE RFI SHALL BE IN FORM APPROVED BY THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITELWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
4. INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSIDERATION AS TO THE CONSISTENCIES OF THE INFORMATION PROVIDED FOR BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
5. THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
6. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.

## DEMOLITION NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BID. NO ALLOWANCE WILL BE MADE FOR ADDITIONAL COSTS DUE TO CONTRACTOR'S FAILURE TO VERIFY EXISTING CONDITIONS AND DIMENSIONS.
2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY DIG SAFE NEW YORK AT 811 TO REQUEST UTILITY STAKEOUT OF ALL PUBLIC UTILITIES.
3. THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING ABOVE GROUND AND BELOW GROUND UTILITIES, STRUCTURES, AND APPURTENANCES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT GUARANTEED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES, STRUCTURES, AND APPURTENANCES IN THE PATH OF AND ADJACENT TO THE PROPOSED WORK.
4. SITE DRAINAGE, INCLUDING THE PROJECT SITE AND ADJACENT PRIVATE AND PUBLIC ROADWAYS, DRIVES, PARKING AREAS OR PROPERTIES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
5. CONTRACTOR SHALL PROTECT AND SUPPORT ALL EXISTING UTILITIES DESIGNATED TO REMAIN FOR THE DURATION OF THE CONTRACT.
6. THE CONTRACTOR SHALL NOTIFY THE LOCAL GOVERNMENT, LOCAL FIRE DEPARTMENT AND THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) AS NECESSARY AND SHALL OBTAIN ANY REQUIRED PERMITS PRIOR TO BEGINNING WORK. COPIES OF ANY REQUIRED PERMITS SHALL BE PROVIDED TO THE OWNER PRIOR TO BEGINNING THE WORK.
7. CONTRACTOR SHALL REMOVE FROM SITE, MATERIALS NOT INDICATED TO BE SALVAGED INCLUDING ALL DEBRIS. ALL REMOVED MATERIALS SHALL BECOME THE PROPERTY OF CONTRACTOR WHO SHALL LEGALLY DISPOSE OF SAME.
8. ALL TREES, SHRUBS AND PLANTS DESIGNATED TO REMAIN AND DISTURBED BY CONSTRUCTION OPERATIONS, SHALL BE REPLACED IN-KIND AS DIRECTED BY THE ARCHITECT/ENGINEER AND/OR OWNER'S DESIGNATED REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
9. WHEN EXISTING CONSTRUCTION WHICH IS TO REMAIN IS DAMAGED DURING THE COURSE OF CONSTRUCTION AS A RESULT OF CONTRACTOR'S WORK, IT SHALL BE REPAIRED AND/OR REPLACED WITH SIMILAR OR LIKE MATERIALS AS MUCH AS POSSIBLE, AT NO COST TO THE OWNER. ALL REPAIRS AND/OR REPLACEMENTS WILL BE SUBJECT TO OWNER'S APPROVAL.
10. COORDINATE LOCATION OF TEMPORARY CONSTRUCTION FENCE AND MATERIAL STAGING AREAS WITH OWNER.
11. ALL PRIVATE HYDRANTS SHALL BE INSPECTED AND TESTED FOR PROPER OPERATION AND FLOW. ALL HYDRANTS MUST HAVE "STORZ" CONNECTOR ADAPTERS INSTALLED ON THE STEAMERS. HYDRANTS MUST BE PAINTED AND REFLECTORIZED LOCATING POLES INSTALLED ON THE EARS OR BONNET.
12. THE EXISTING DOMESTIC WATER SERVICE LINE AND SEWER LATERAL SHALL BE CUT AND CAPPED AT THE RESPECTIVE MAINS IN HOLBROOK ROAD AND THE ROADWAY RESTORED TO ITS ORIGINAL CONDITION.
13. THE EXISTING SEWER LATERAL WILL BE CUT AND CAPPED AT THE SEWER MAIN IN CHARTER CIRCLE AND IS NOT PROPOSED FOR FUTURE USE.
14. A UTILITY EASEMENT WILL BE PROVIDED TO THE OWNERS AND RECORDED ONCE THE PROPOSED SEWER LINE HAS BEEN APPROVED BY THE REGULATING AUTHORITY.
15. THE EXISTING ACCESS ROAD IS PAVED AND PROPOSED TO REMAIN, THEREFORE, THE EXISTING ACCESS ROAD IS OMITTED FROM THE LIMIT OF DISTURBANCE CALCULATION.

## SOIL RESTORATION NOTES

TYPE OF SOIL DISTURBANCE	SOIL RESTORATION REQUIREMENT
MINIMAL SOIL DISTURBANCE (E.G., CLEARING AND GRUBBING ACTIVITIES)	RESTORATION NOT REQUIRED
AREAS WHERE TOPSOIL IS STRIPPED ONLY (E.G., NO CHANGE IN GRADE)	AERATE AND APPLY 6" OF TOPSOIL*
AREAS OF CUT OR FILL	APPLY FULL SOIL RESTORATION*
HEAVY TRAFFIC AREAS ON-SITE (ESPECIALLY IN 5 FEET TO 25 FEET AROUND BUILDINGS, OR WITHIN A 5 FOOT PERIMETER AROUND FOUNDATION WALLS)	APPLY FULL SOIL RESTORATION AS INDICATED BELOW
AREAS WHERE RUNOFF REDUCTION OR INFILTRATION PRACTICES ARE APPLIED	RESTORATION CAN BE APPLIED TO ENHANCE RUNOFF REDUCTION BUT NOT REQUIRED
REDEVELOPMENT PROJECTS	SOIL RESTORATION IS REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE EXISTING IMPERVIOUS AREA WILL BE CONVERTED TO PERVIOUS AREA.

### FULL SOIL RESTORATION

BEFORE APPLYING FULL SOIL RESTORATION, ALL CONSTRUCTION ACTIVITY, INCLUDING CONSTRUCTION EQUIPMENT AND MATERIALS, STORAGE SITE CLEANUP AND TRAFFICKING, SHALL BE FINISHED AND THE SITE CLOSED TO FURTHER DISTURBANCE. FULL SOIL RESTORATION IS IMPLEMENTED IN A TWO-PHASE PROCESS:

1. DEEP RIP THE AFFECTED THICKNESS OF EXPOSED SUBSOIL MATERIAL, AGGRESSIVELY FRAGMENTING IT BEFORE THE PROTECTED TOPSOIL IS REAPPLIED ON THE SITE.
2. DECOMPACT, SIMULTANEOUSLY THROUGH THE RESTORED TOPSOIL LAYER AND UPPER HALF OF THE AFFECTED SUBSOIL.
3. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING. A SIGN SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES. WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR CONSTRUCTION, THE TEMPORARY CONCRETE MUST BE REMOVED. REMOVAL OF MATERIALS USED TO CONSTRUCT THE TEMPORARY CONCRETE WASHOUT FACILITIES MUST BE REMOVED AND DISPOSED OF. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES MUST BE BACKFILLED AND/OR REPAIRED, SEDED, AND MULCHED FOR FINAL STABILIZATION.
4. NON-STORMWATER COMPONENTS OF SITE DISCHARGE MUST BE CLEAN WATER. WATER USED FOR CONSTRUCTION, WHICH DISCHARGES FROM THE SITE, MUST ORIGINATE FROM A PUBLIC WATER SUPPLY OR PRIVATE WELL APPROVED BY THE HEALTH DEPARTMENT. WATER USED FOR CONSTRUCTION THAT DOES NOT ORIGINATE FROM AN APPROVED PUBLIC SUPPLY MUST NOT DISCHARGE FROM THE SITE. IT CAN BE RETAINED IN THE PONDS UNTIL IT INFILTRATES AND EVAPORATES.

5. INSTALL PLANTS AND VEGETATION IN ACCORDANCE WITH THE LANDSCAPING PLAN.
6. PORTABLE SANITARY WASTE FACILITIES MUST BE PROVIDED ON-SITE FOR WORKERS AND MUST BE PROPERLY MAINTAINED.
7. DUMPSTERS AND/OR DEBRIS CONTAINERS MUST BE LOCATED ON-SITE AND MUST BE OF APPROPRIATE SIZE TO MANAGE RESPECTIVE MATERIALS. REGULAR COLLECTION AND DISposal OF WASTES MUST OCCUR AS REQUIRED.
8. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING. A SIGN SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES. WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR CONSTRUCTION, THE TEMPORARY CONCRETE MUST BE REMOVED. REMOVAL OF MATERIALS USED TO CONSTRUCT THE TEMPORARY CONCRETE WASHOUT FACILITIES MUST BE REMOVED AND DISPOSED OF. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES MUST BE BACKFILLED AND/OR REPAIRED, SEDED, AND MULCHED FOR FINAL STABILIZATION.
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10. REFER TO THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) SPDES GENERAL PERMIT IN APPENDIX A OF THE STORMWATER POLLUTION PREVENTION PLAN FOR ADDITIONAL REQUIREMENTS.
11. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED IN ACCORDANCE WITH "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL" LATEST EDITION.
12. BEFORE BEGINNING CONSTRUCTION, THE OWNER MUST SET UP A PRE-CONSTRUCTION MEETING WITH THE QUALIFIED PROFESSIONAL, QUALIFIED INSPECTOR, CONTRACTORS, AND SUBCONTRACTORS TO DISCUSS THE RESPONSIBILITIES RELATED TO THE STORMWATER POLLUTION PREVENTION PLAN IMPLEMENTATION.
13. THE CONTRACTOR AND SUBCONTRACTOR MUST IDENTIFY THE TRAINED INDIVIDUAL THAT WILL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF THE EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
14. BEFORE BEGINNING CONSTRUCTION, ALL EROSION AND SEDIMENT CONTROLS MUST BE INSTALLED IN ACCORDANCE WITH THE PLANS. SITE PREPARATION ACTIVITIES MUST BE PLANNED TO MINIMIZE THE SCOPE AND DURATION OF SOIL DISTURBANCE. EXISTING VEGETATION TO REMAIN MUST BE PROTECTED TO ENSURE OVER CLEARING DOES NOT OCCUR.
15. PERMANENT TRAFFIC CORRIDORS MUST BE ESTABLISHED AND "ROUTES OF CONVENIENCE" MUST BE AVOIDED. STABILIZED CONSTRUCTION ENTRANCES MUST BE INSTALLED AT THE LOCATIONS SHOWN ON THE PROJECT PLANS.
16. STOCKPILED TOPSOIL MUST BE ENCLOSED WITH SILT FENCE OR HAY BALES AND COVERED OR TEMPORARILY SEALED. ALL GRASS SEED MUST CONTAIN AT LEAST 25% RAPID GERMINATING PERENNIAL RYE GRASS.
17. DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION MUST BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
18. DUST MUST BE CONTROLLED BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED.
19. EROSIONAL MATERIAL TEMPORARILY STOCKPILED ON SITE DURING CONSTRUCTION MUST BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND MUST BE PROPERLY PROTECTED BY A SILT FENCE BARRIER.
20. EARTHWORK ACTIVITIES MUST BE CONSISTENT WITH THE PHASING PLANS. THE EARTHWORK OPERATION AREAS MUST BE STABILIZED ON AN ONGOING BASIS WITH NO AREA LEFT UNSTABILIZED DURING CONSTRUCTION LEFT WITHOUT AT LEAST TEMPORARY COVER FOR MORE THAN 14 DAYS.
21. EROSION AND SEDIMENT CONTROL INSPECTIONS:
  - A. THE TRAINED INDIVIDUAL MUST INSPECT ALL EROSION AND SEDIMENT CONTROL MEASURES ON A DAILY BASIS TO ENSURE PROPER PERFORMANCE. ANY SEDIMENT BUILD UP MUST BE CLEANED AND REMOVED. ANY DAMAGES TO EROSION AND SEDIMENT CONTROL MEASURES MUST BE REPAIRED AT THE END OF THE WORK DAY.
  - B. THE QUALIFIED INSPECTOR MUST CONDUCT SITE INSPECTIONS EVERY 7 DAYS. ANY DEFICIENCIES NOTED IN THE REPORTS MUST BE CORRECTED IMMEDIATELY BY THE CONTRACTOR.
  - C. IF SOIL DISTURBANCE ACTIVITIES ARE SUSPENDED FOR WINTER SHUTDOWN, TEMPORARY STABILIZATION MEASURES WILL BE APPLIED TO ALL DISTURBED AREAS. IF APPROVED BY THE NYSDEC OR MS4 MUNICIPALITY, THE FREQUENCY OF INSPECTIONS BY THE QUALIFIED INSPECTOR MAY BE REDUCED TO ONE INSPECTION EVERY 30 DAYS.
  - D. IF AUTHORIZED BY THE NYSDEC OR MS4 MUNICIPALITY TO DISTURB MORE THAN 5 ACRES AT ONE TIME, THE QUALIFIED INSPECTOR MUST CONDUCT AT LEAST 2 SITE INSPECTIONS, SEPARATED BY 2 DAYS, EVERY 7 DAYS UNTIL SUCH TIME THAT LESS THAN 5 ACRES OF SOIL REMAIN EXPOSED.
22. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST BE REMOVED WHEN ALL DISTURBED AREAS ARE STABILIZED AND FINALLY STABILIZED. WHEN UPLAND SURFACES ARE PROPERLY STABILIZED AND ALL STORMWATER MANAGEMENT SYSTEMS ARE IN PLACE AND OPERATIONAL, ALL AREAS DISTURBED BY THE REMOVAL OF THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST BE FILLED IN, TOPSOILED, SEADED, AND MULCHED. FINAL STABILIZATION IS ACHIEVED WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 80% OR HIGHER, OR EQUIVALENT STABILIZATION MEASURES, SUCH AS PLACEMENT OF MULCH OR GEOTEXTILE, IS COMPLETED ON ALL AREAS NOT PAVED OR COVERED BY PERMANENT STRUCTURES.

## GRADING NOTES

1. THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF OSHA, AND ANY OTHER AGENCY HAVING JURISDICTION WITH REGARD TO SAFETY PRECAUTIONS WITH TRENCHING OPERATIONS. REQUIREMENTS FOR TRENCHES ARE TO BE SUPPLEMENTED TO MEET REQUIREMENTS ESTABLISHED IN THESE SPECIFICATIONS. IN THE CASE OF CONFLICT BETWEEN REQUIREMENTS OF OTHER JURISDICTIONAL AGENCIES AND THESE DOCUMENTS, THE MORE STRINGENT REQUIREMENT ON THE CONTRACTOR SHALL APPLY.
2. SHEETING, IF REQUIRED DURING CONSTRUCTION, IS CONSIDERED TO BE PART OF THIS CONTRACT AND SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
3. ALL TRENCHES THROUGH PAVEMENT SHALL BE SAW CUT PRIOR TO EXCAVATION AND AGAIN PRIOR TO PAVEMENT RESTORATION.
4. CONTRACTOR SHALL ADJUST THE RIMS OF ALL MANHOLES, CATCH BASINS, VALVE BOXES AND OTHER UTILITY SITE STRUCTURES TO MEET FINISHED GRADE IN AREAS REQUIRING REPAVING OR REGRADING AS PART OF THE WORK, INCLUDING THOSE THAT MAY NOT BE SHOWN ON THE PLANS.
5. VOIDS LEFT BY UTILITY OR STRUCTURE REMOVAL OR GRUBBING OPERATIONS SHALL BE BACKFILLED AND PROPERLY COMPACTED WITH STRUCTURAL FILL (NYSDEC ITEM 304-12) IN AREAS UNDER AND WITHIN 5 FEET HORIZONTALLY OF ALL STRUCTURES, BUILDINGS AND PAVEMENTS. IN GRASSED AREAS, VOIDS LEFT SHALL BE FILLED AND PROPERLY COMPACTED WITH SUITABLE ON-SITE OR IMPORTED EARTHEN BACKFILL. ALL DISTURBED AREAS SHALL BE RESTORED.
6. THE CONTRACTOR SHALL Dewater ALL EXCAVATIONS TO PREVENT THE INTRODUCTION OF GROUNDWATER INTO THE TRENCHES/EXCAVATIONS. PROVIDE ALL EQUIPMENT NECESSARY TO MAINTAIN THE GROUNDWATER LEVEL AS NECESSARY.
7. THE CONTRACTOR SHALL PLACE AT MINIMUM 6 INCHES OF CLEANED SCREENED TOPSOIL IN ALL DISTURBED AREAS PRIOR TO SEEDING.

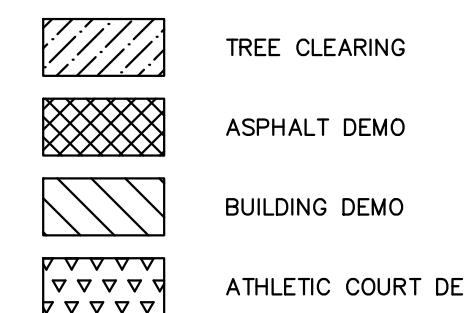
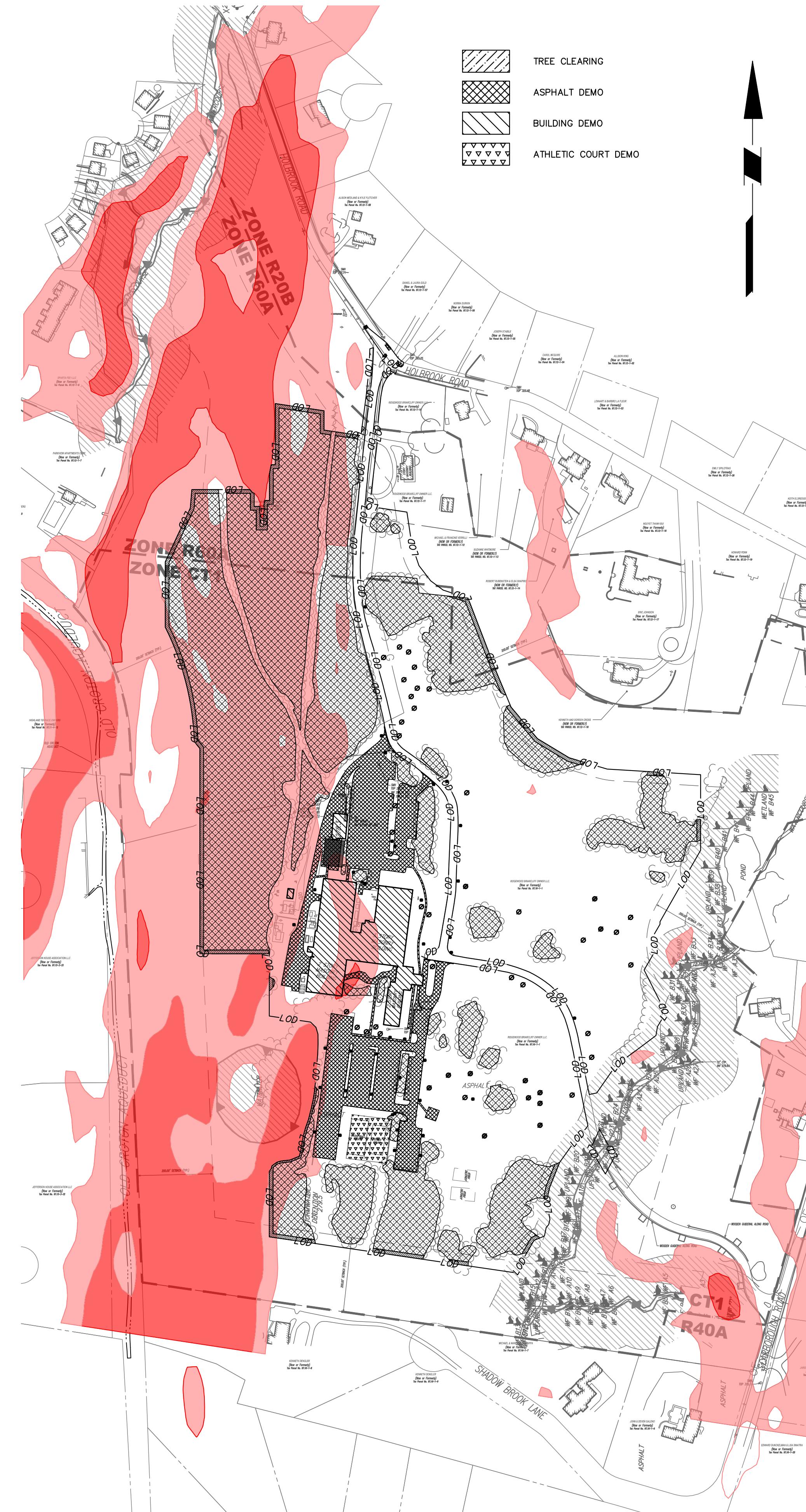
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9. THE EXISTING DOMESTIC WATER SERVICE LINE AND SEWER LATERAL SHALL BE CUT AND CAPPED AT THE RESPECTIVE MAINS IN HOLBROOK ROAD AND THE ROADWAY RESTORED TO ITS ORIGINAL CONDITION.
10. THE EXISTING SEWER LATERAL WILL BE CUT AND CAPPED AT THE SEWER MAIN IN CHARTER CIRCLE AND IS NOT PROPOSED FOR FUTURE USE.
11. A UTILITY EASEMENT WILL BE PROVIDED TO THE OWNERS AND RECORDED ONCE THE PROPOSED SEWER LINE HAS BEEN APPROVED BY THE REGULATING AUTHORITY.
12. THE EXISTING ACCESS ROAD IS PAVED AND PROPOSED TO REMAIN, THEREFORE, THE EXISTING ACCESS ROAD IS OMITTED FROM THE LIMIT OF DISTURBANCE CALCULATION.

## POLLUTION PREVENTION CONTROL NOTES

GOOD HOUSEKEEPING PRACTICES ARE DESIGNED TO MAINTAIN A CLEAN AND ORDERLY WORK ENVIRONMENT. GOOD HOUSEKEEPING MEASURES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS BY THOSE PARTIES INVOLVED WITH THE DIRECT CARE AND DEVELOPMENT OF THE SITE. THE FOLLOWING MEASURES SHOULD BE IMPLEMENTED TO CONTROL THE POSSIBLE EXPOSURE OF HARMFUL SUBSTANCES AND MATERIALS TO STORMWATER RUNOFF:

1. MATERIAL RESULTING FROM THE CLEARING AND GRUBBING OPERATION MUST BE STOCKPILED AWAY FROM STORM DRAINAGE, WATER BODIES AND/OR WATERCOURSES AND SURROUNDED WITH ADEQUATE EROSION AND SEDIMENT CONTROL MEASURES. STOCKPILE LOCATIONS MUST NOT EXCEED 14 DAYS BEFORE SEEDING.
2. EQUIPMENT MAINTENANCE AREAS MUST BE MOVED AWAY FROM STORMWATER FLOWS AND MUST BE COVERED WITH APPROPRIATE WASTE RECEPTACLES FOR SPILL CHEMICALS, SOLVENTS, OILS, GREASES, GASOLINE, AND ANY POLLUTANTS THAT MIGHT CONTAMINATE THE SURROUNDING HABITAT AND/OR WATER SUPPLY. EQUIPMENT WASH-DOWN ZONES MUST BE LOCATED WITHIN AREAS DRAINING TO SEDIMENT CONTROL DEVICES.
3. THE USE OF DETERGENTS FOR LARGE-SCALE (I.E., VEHICLES, BUILDINGS, PAVEMENT SURFACES, ETC.) WASHING IS PROHIBITED.
4. MATERIAL STORAGE LOCATIONS AND FACILITIES (I.E., COVERED STORAGE AREAS, STORAGE SHELVES, ETC.) MUST BE LOCATED OUTSIDE AND MUST BE STORED ACCORDING TO THE MANUFACTURER'S STANDARDS IN A DEDICATED STAGING AREA. CHEMICALS, PAINTS, SOLVENTS, FERTILIZERS, AND OTHER TOXIC MATERIAL MUST BE STORED IN WATERPROOF CONTAINERS. RUNOFF CONTAINING SUCH MATERIALS MUST BE COLLECTED, REMOVED FROM THE SITE, TREATED AND DISPOSED AT AN APPROVED SOLID WASTE OR CHEMICAL DISPOSAL FACILITY.
5. HAZARDOUS SPILLS MUST BE IMMEDIATELY CONTAINED, PREVENT SUCH POLLUTANTS FROM ENTERING THE SURROUNDING HABITAT AND/OR WATER SUPPLY. SPILL KITS MUST BE PROVIDED ON-SITE AND MUST BE DISPLAYED IN A PROMINENT LOCATION FOR EASE OF ACCESS AND USE. SPILLS GREATER THAN FIVE (5) GALLONS MUST BE REPORTED TO THE NYSPDES RESPONSE UNIT AT 1-800-457-7362. IN ADDITION, A RECORD OF THE INCIDENT(S) AND/OR NOTIFICATIONS MUST BE DOCUMENTED AND ATTACHED TO THE SWPPP.
6. PORTABLE SANITARY WASTE FACILITIES MUST BE PROVIDED ON-SITE FOR WORKERS AND MUST BE PROPERLY MAINTAINED.
7. DUMPSTERS AND/OR DEBRIS CONTAINERS MUST BE LOCATED ON-SITE AND MUST BE OF APPROPRIATE SIZE TO MANAGE RESPECTIVE MATERIALS. REGULAR COLLECTION AND DISPOSAL OF WASTES MUST OCCUR AS REQUIRED.

Date	Description	No.
Revisions		
WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 148 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING		



## STEEP SLOPES LEGEND

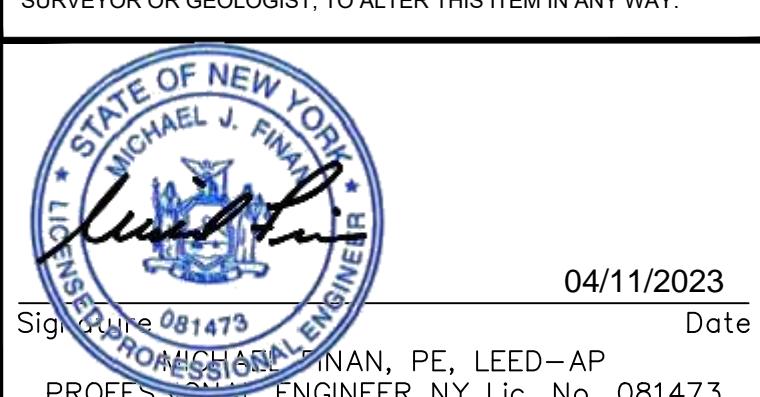
SLOPE RANGE	PARCEL AREA	PERCENT OF PARCEL	PROJECT AREA	PERCENT OF PROJECT	PROJECT PARCEL COVERAGE
0 - 15%	58.40 AC	60.20 %	31.54 AC	72.01 %	32.50 %
15 - 25 %	26.24 AC	27.04 %	12.25 AC	27.97 %	12.62 %
>25%	12.40 AC	12.76 %	0.01 AC	0.02 %	0.01 %
TOTALS:		97.04 AC	100 %	43.80 AC	100 %
				45.13 %	

## NOTES

- "PARCEL AREA" CONSIDERS THE ACREAGE OF THE FOUR CONTIGUOUS PARCELS OWNED BY THE APPLICANT.
- "PERCENT OF PARCEL" REFERS TO THE PERCENTAGE OF THE APPLICANT'S HOLDINGS FALLING WITHIN THE DESIGNATED SLOPE RANGE.
- "PROJECT AREA" REFERS TO THE ACREAGE OF THE PROPOSED PROJECT FALLING WITHIN THE DESIGNATED SLOPE RANGE.
- "PERCENT OF PROJECT" REFERS TO THE PERCENTAGE OF THE PROPOSED PROJECT FALLING WITHIN THE DESIGNATED SLOPE RANGE.
- "PROJECT PARCEL COVERAGE" REFERS TO THE PERCENTAGE OF LAND CONTAINING THE PROPOSED PROJECT AS COMPARED TO THE FOUR CONTIGUOUS PARCELS OWNED BY THE APPLICANT.
- STEEP SLOPE DATA SOURCE: WESTCHESTER COUNTY GIS.
- PROPOSED DISTURBANCE OF >25% SLOPE AREA IS RELATED TO THE INSTALLATION OF FENCE POSTS. TREES WITHIN THE >25% SLOPE AREA WILL ONLY BE CUT AND THE STUMPS WILL REMAIN. PROPOSED SOLAR RACKS ARE LOCATED OUTSIDE OF THE >25% SLOPE AREAS TO REMAIN.

Date	Description	No.
Revisions		
200	0	100 200

WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 148 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.



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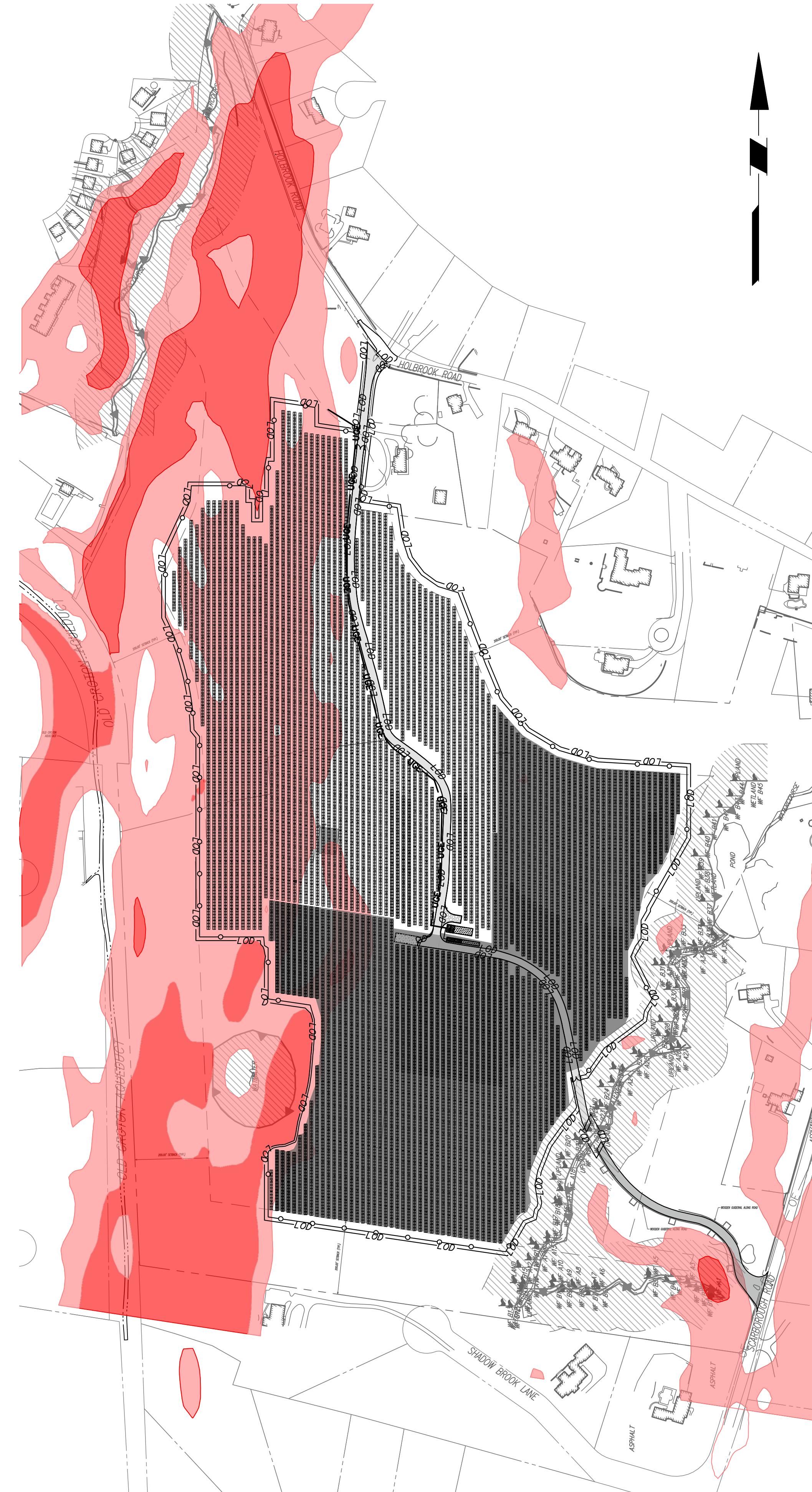
Project

**BRIARCLIFF SOLAR, LLC**

VILLAGE OF BRIARCLIFF MANOR  
WESTCHESTER COUNTY  
NEW YORK

Drawing Title  
**EXISTING STEEP SLOPES PLAN**

Project No. 190091001 Drawing No. C002  
Date 04/04/2023  
Drawn By SF  
Checked By CZ  
Sheet 3 of 37



PROPOSED CONDITIONS SLOPE MAP

SCALE 1" = 200'

## STEEP SLOPES LEGEND

SLOPE RANGE	PARCEL AREA	PERCENT OF PARCEL	PROJECT AREA	PERCENT OF PROJECT	PROJECT PARCEL COVERAGE
0 - 15%	58.40 AC	60.20 %	31.54 AC	72.01 %	32.50 %
15 - 25 %	26.24 AC	27.04 %	12.25 AC	27.97 %	12.62 %
>25%	12.40 AC	12.76 %	0.01 AC	0.02 %	0.01 %
TOTALS:	97.04 AC	100 %	43.80 AC	100 %	45.13 %

## NOTES

- "PARCEL AREA" CONSIDERS THE ACREAGE OF THE FOUR CONTIGUOUS PARCELS OWNED BY THE APPLICANT.
- "PERCENT OF PARCEL" REFERS TO THE PERCENTAGE OF THE APPLICANT'S HOLDINGS FALLING WITHIN THE DESIGNATED SLOPE RANGE.
- "PROJECT AREA" REFERS TO THE ACREAGE OF THE PROPOSED PROJECT FALLING WITHIN THE DESIGNATED SLOPE RANGE.
- "PERCENT OF PROJECT" REFERS TO THE PERCENTAGE OF THE PROPOSED PROJECT FALLING WITHIN THE DESIGNATED SLOPE RANGE.
- "PROJECT PARCEL COVERAGE" REFERS TO THE PERCENTAGE OF LAND CONTAINING THE PROPOSED PROJECT AS COMPARED TO THE FOUR CONTIGUOUS PARCELS OWNED BY THE APPLICANT.
- STEEP SLOPE DATA SOURCE: WESTCHESTER COUNTY GIS.
- PROPOSED DISTURBANCE OF >25% SLOPE AREA IS RELATED TO THE INSTALLATION OF FENCE POSTS. TREES WITHIN THE >25% SLOPE AREA WILL ONLY BE CUT AND THE STUMPS WILL REMAIN. PROPOSED SOLAR RACKS ARE LOCATED OUTSIDE OF THE >25% SLOPE AREAS TO REMAIN.

Date Description No.

Revisions

200 0 100 200  
SCALE 1 INCH = 200 FEET

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04/11/2023

Signature: 081473 Date: 04/11/2023  
MICHAEL J. PINALAN, PE, LEED-AP  
PROFESSIONAL ENGINEER NY Lic. No. 081473**LANGAN**Langan Engineering, Environmental, Surveying,  
Landscape Architecture, and Geology, D.P.C.One North Broadway, Suite 910  
White Plains, NY 10601

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Project

**BRIARCLIFF SOLAR, LLC**VILLAGE OF BRIARCLIFF MANOR  
WESTCHESTER COUNTY NEW YORK  
Drawing Title**PROPOSED STEEP  
SLOPES PLAN**

Project No.	Drawing No.
190091001	
Date	
04/04/2023	
Drawn By	
SF	
Checked By	
CZ	
Sheet 4 of 37	



## **EXISTING CONDITIONS: TREE INVENTORY**

**SCALE 1" = 200'**



# PROPOSED DEMOLITION PLAN: TREE INVENTORY

**SCALE 1" = 200'**

# TREE SURVEY LEGEND

<u>TREE TYPE</u>	<u>SYMBOL</u>	<u>EXISTING</u>	<u>PROPOSED DEMO</u>
NON-INVASIVE DEAD	○	138	93
NON-INVASIVE POOR CONDITION	●	67	40
NON-INVASIVE CRITICAL CONDITION	•	102	46
NON-INVASIVE FAIR CONDITION	★	1,288	721
NON-INVASIVE GOOD CONDITION	▲	553	310
INVASIVE TREES	⊗	1,447	612
		TOTAL	3,595
			1,822

Project No. 190091001

Date	Description	No.
Revisions		
200	0	100
200	0	100
SCALE: 1 INCH = 200 FEET		

**WARNING:** IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.

The image shows the official seal of the State of New York for professional engineers. The seal is circular with a blue border containing the text "STATE OF NEW YORK" at the top and "PROFESSIONAL ENGINEER" at the bottom. Inside the border, there are stars on the left and right sides. The center of the seal features a blue illustration of the New York State coat of arms, which includes a central shield with a Native American figure holding a bow and arrow, flanked by two figures, and topped with a crest of a Native American head. A blue ribbon or scroll surrounds the shield with the word "PROFESSIONAL" on the left and "ENGINEER" on the right. A handwritten signature "Michael J. Finan" is overlaid on the seal. Below the seal, the date "04/11/2023" is printed. At the bottom left, the text "Signature 081473" is followed by "MICHAEL J. FINAN, PE, LEED-AP" and "PROFESSIONAL ENGINEER, NY Lic. No. 081473".

# LANGAN

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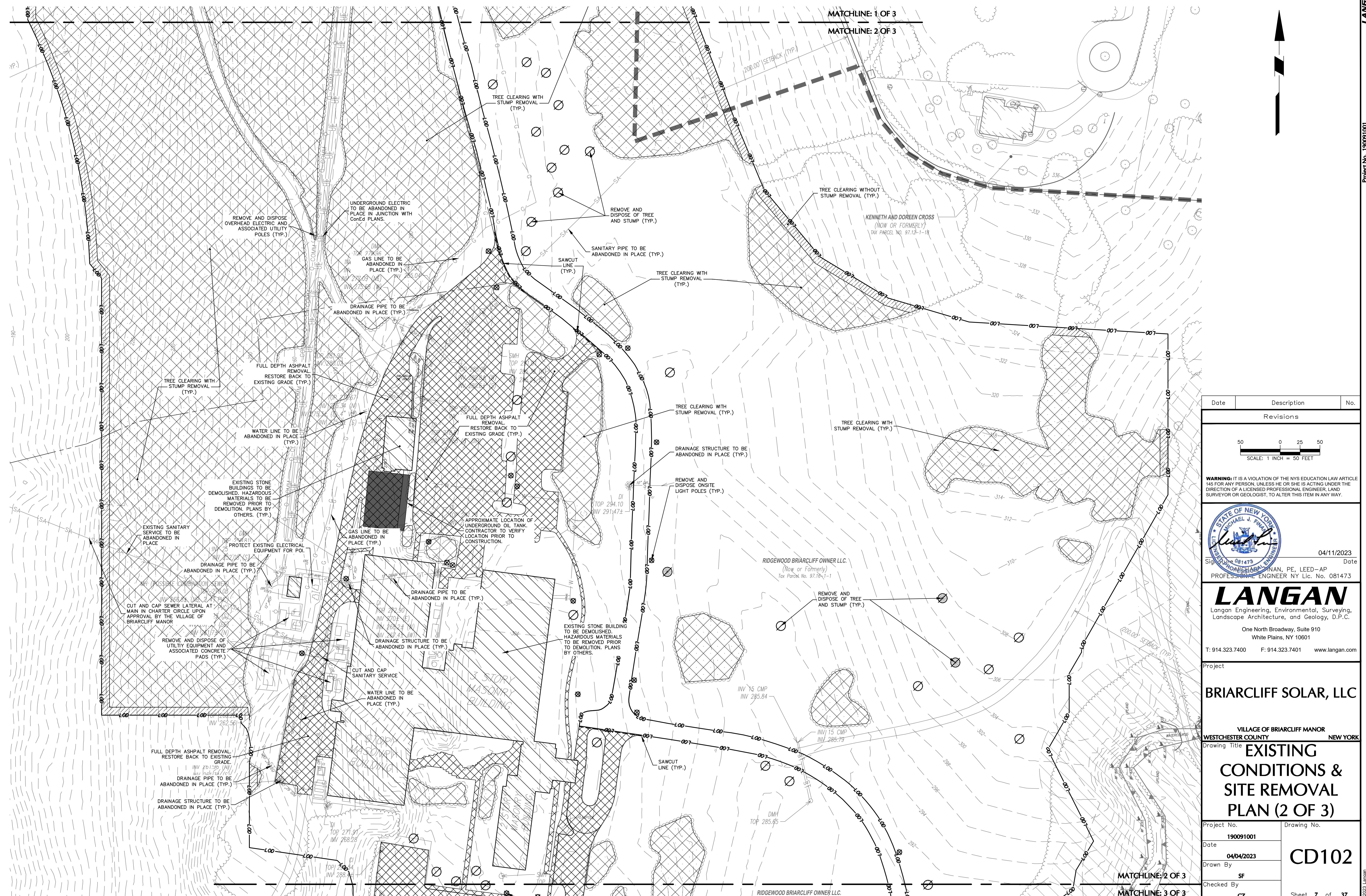
One North Broadway, Suite 910  
White Plains, NY 10601

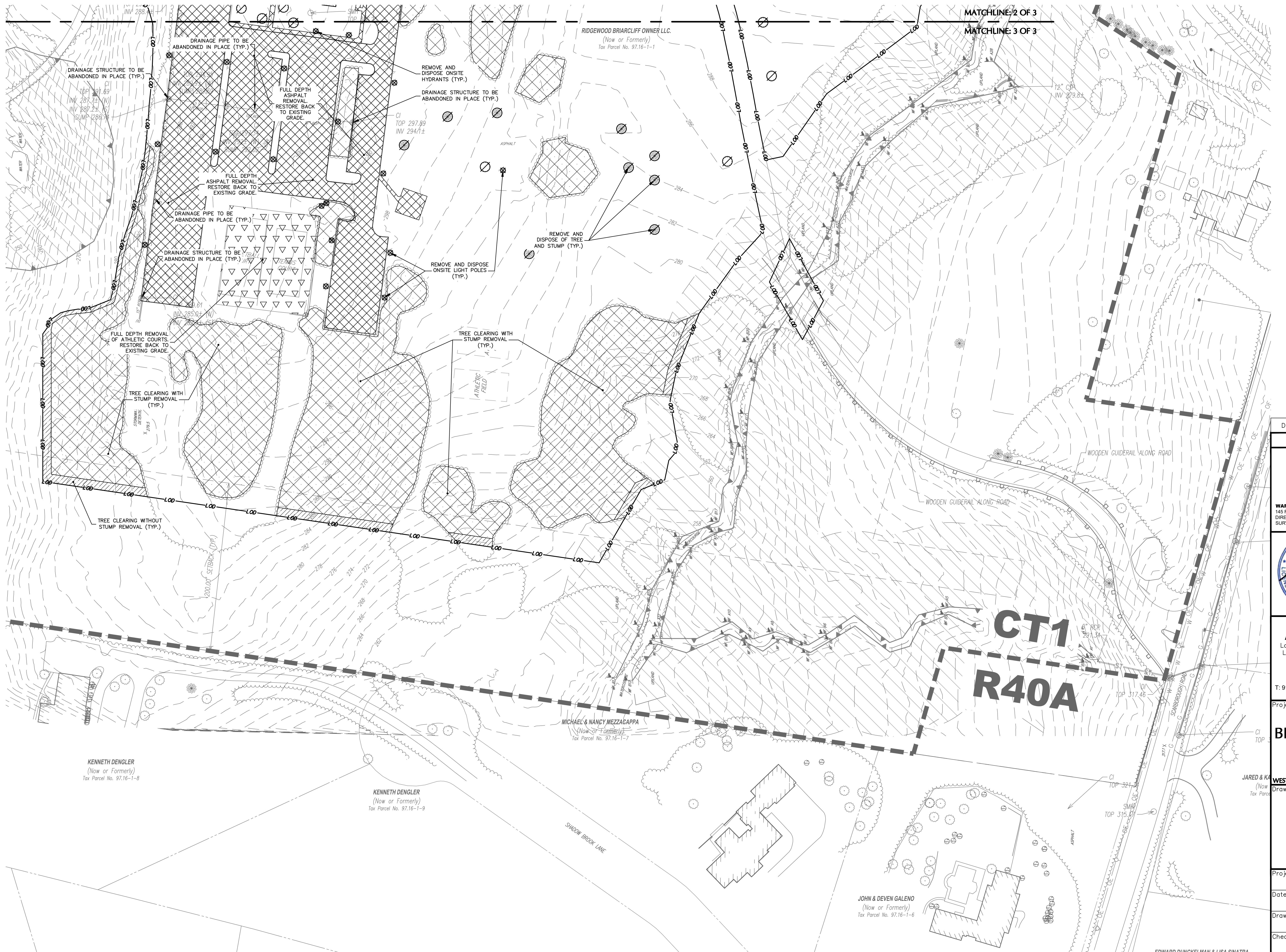
# BRIARCLIFF SOLAR, LLC

## TRFF INVENTORY

Project No.	Drawing No.
<b>190091001</b>	
Date	<b>04/04/2023</b>
Drawn By	<b>SF</b>
Checked By	<b>CZ</b>
Sheet <b>5</b> of <b>37</b>	







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**LANGAN**

Project No. 190091001

Date	Description	No.
Revisions		
50	0	25 50

04/11/2023

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BRIARCLIFF SOLAR, LLC

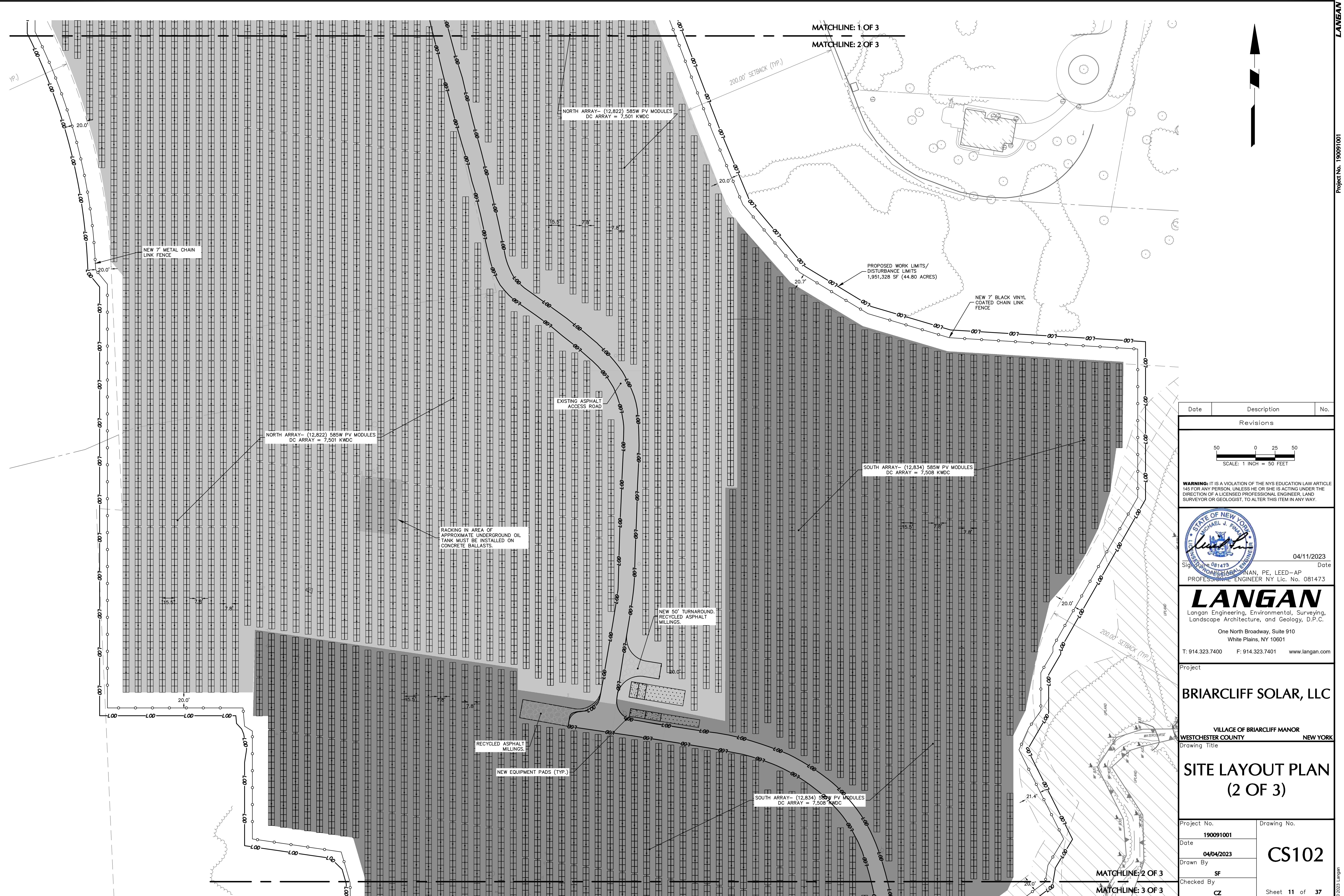
**VILLAGE OF BRIARCLIFF MANOR  
WESTCHESTER COUNTY, NEW YORK**

Drawing Title **EXISTING  
CONDITIONS &  
SITE REMOVAL  
PLAN (3 OF 3)**

Project No.	Drawing No.
<b>190091001</b>	
Date	
<b>04/04/2023</b>	
Drawn By	<b>CD103</b>
<b>SF</b>	
Checked By	
<b>CZ</b>	Sheet <b>37</b>









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3

04/11/2023

Description	No.
Revisions	

**WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 27 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.**

OF NEW YORK

A circular official seal for Michael J. Finnigan, P.E. The seal features a central shield with a bridge, a river, and a city skyline. Above the shield is a torch, and above that is the text 'CITY OF NEW YORK'. Below the shield is the word 'ENGINEER'. The outer ring of the seal contains the text 'APPROVED' at the top and '081473' at the bottom. A handwritten signature 'Michael J. Finnigan' is written across the top of the seal.

# LANGAN

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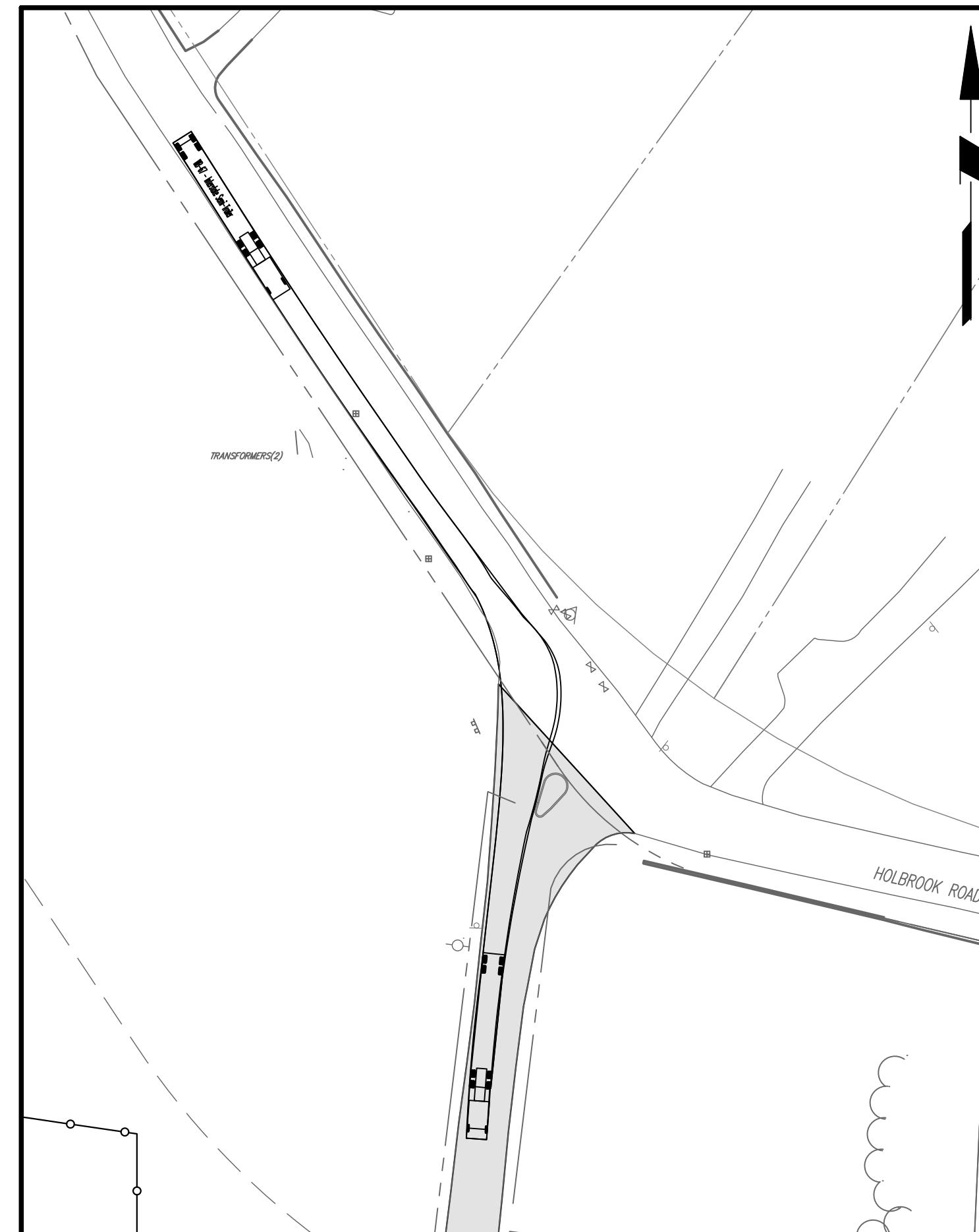
# RIARCLIFF SOLAR, LLC

# ITE LAYOUT PLAN (3 OF 3)

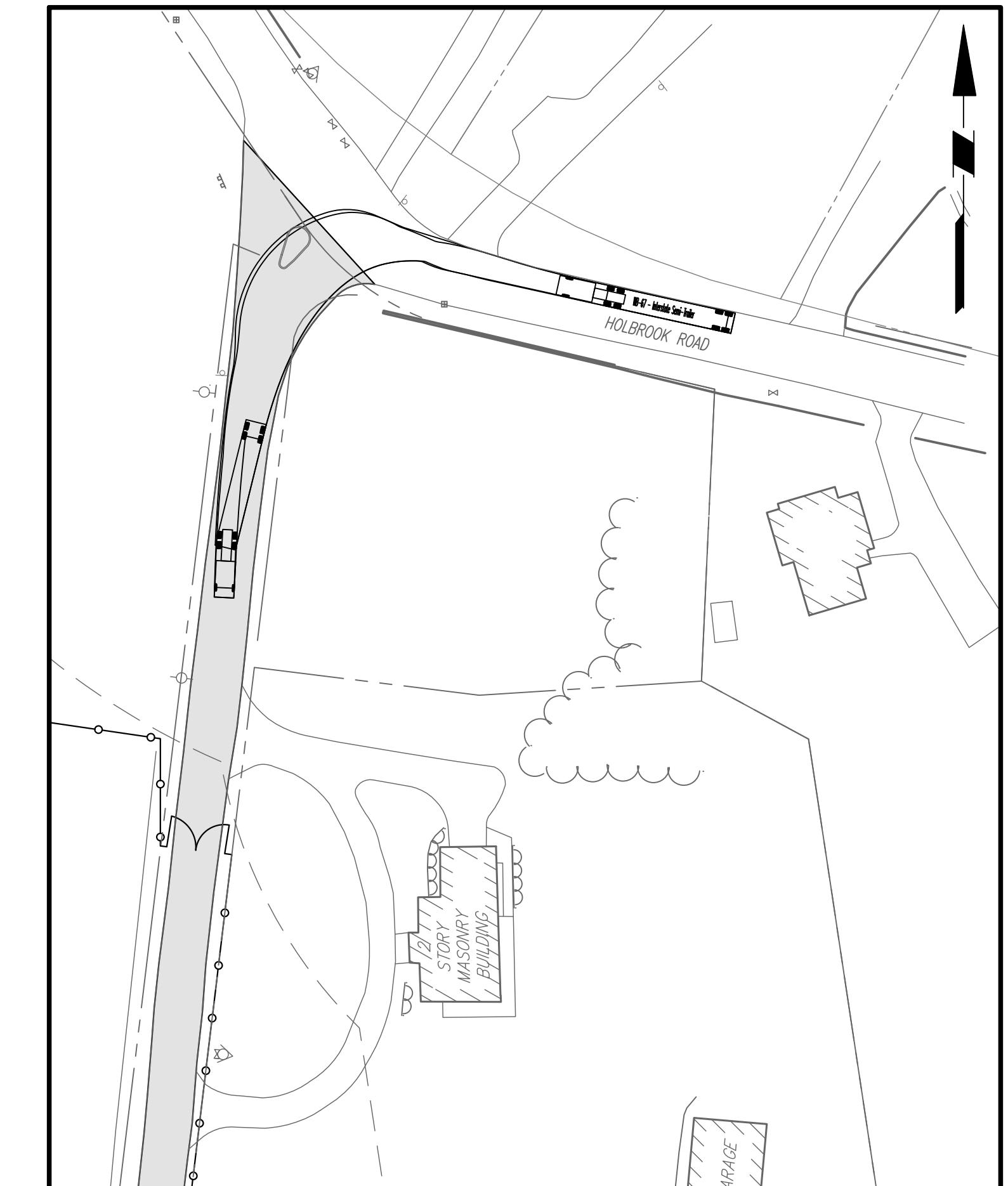
ect No.	Drawing No.
<b>190091001</b>	
<b>04/04/2023</b>	
wn By	<b>CS103</b>
<b>SF</b>	
cked By	
<b>CZ</b>	
	Sheet <b>37</b> of



HOLBROOK ROAD DRIVEWAY SIGHT TRIANGLES  
SCALE 1" = 50'



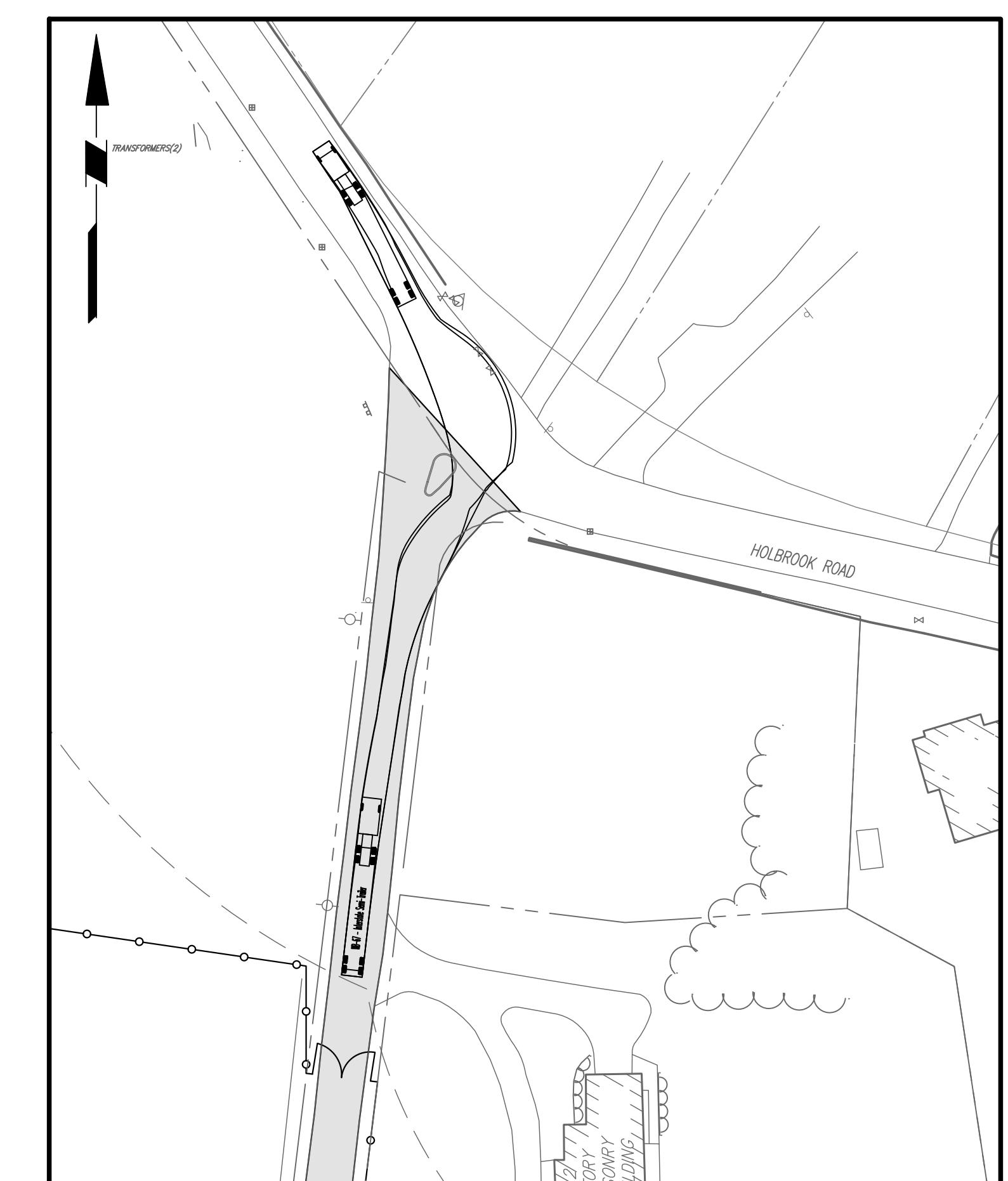
RIGHT TURN FROM HOLBROOK RD  
SCALE 1" = 50'



LEFT TURN FROM HOLBROOK RD  
SCALE 1" = 50'



RIGHT TURN ONTO HOLBROOK RD  
SCALE 1" = 50'



LEFT TURN ONTO HOLBROOK RD  
SCALE 1" = 50'

Date	Description	No.
Revisions		
50	0	25
SCALE: 1 INCH = 50 FEET		
WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 148 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.		
 MICHAEL J. FINAN, PE, LEED-AP PROFESSIONAL ENGINEER NY Lic. No. 081473 04/11/2023 Signature: 081473 Date One North Broadway, Suite 910 White Plains, NY 10601 T: 914.323.7400 F: 914.323.7401 www.langan.com		
<b>LANGAN</b> Langan Engineering, Environmental, Surveying, Landscape Architecture, and Geology, D.P.C. One North Broadway, Suite 910 White Plains, NY 10601 T: 914.323.7400 F: 914.323.7401 www.langan.com		
Project		
BRIARCLIFF SOLAR, LLC		
VILLAGE OF BRIARCLIFF MANOR WESTCHESTER COUNTY NEW YORK		
Drawing Title		
TURNING MOVEMENTS (1 OF 4)		
Project No. 190091001	Drawing No.	
Date 04/04/2023		
Drawn By SF		
Checked By CZ		
CS201		
Sheet 13 of 37		



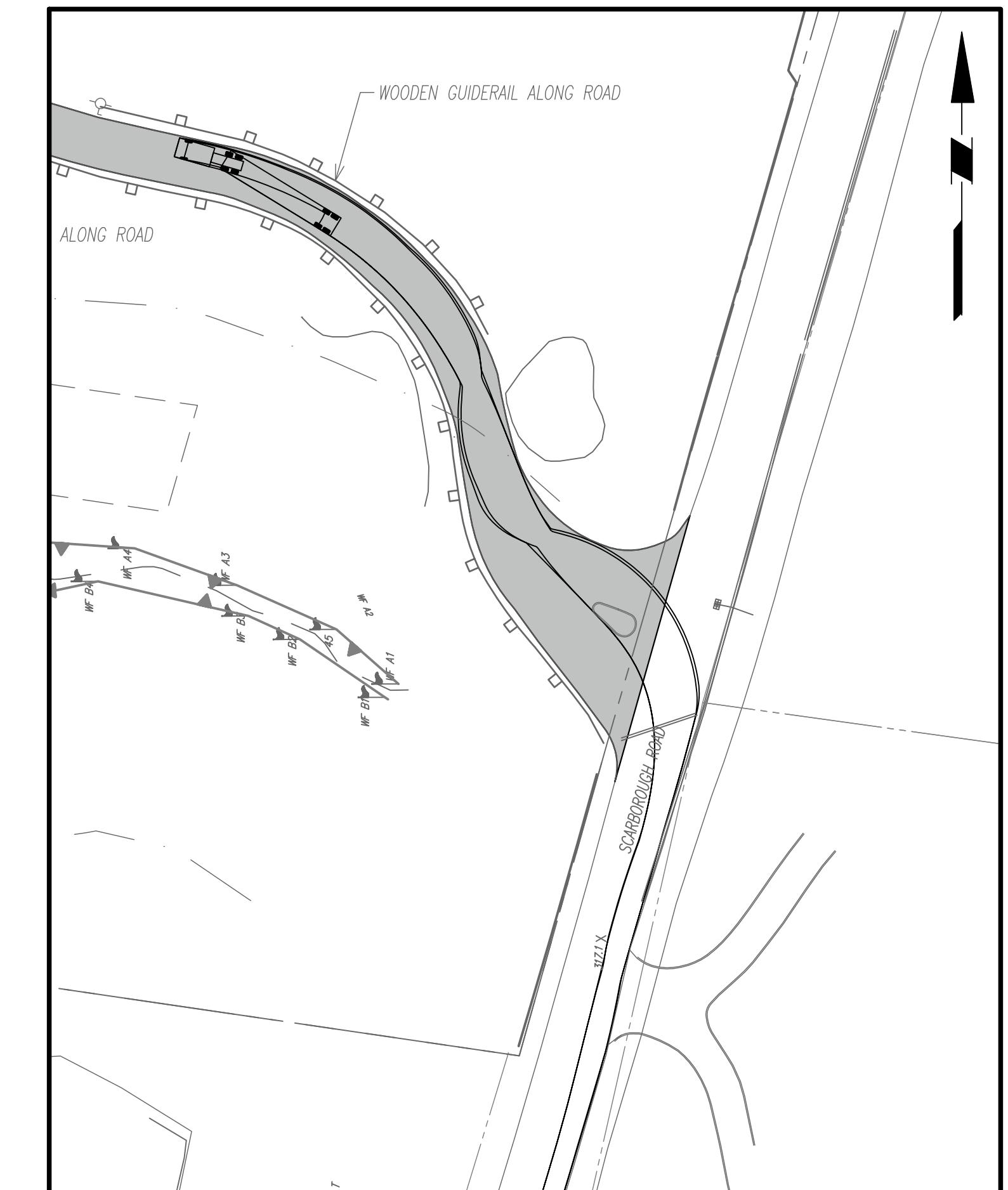
SCARBOROUGH ROAD DRIVEWAY SIGHT TRIANGLES

SCALE 1" = 50'



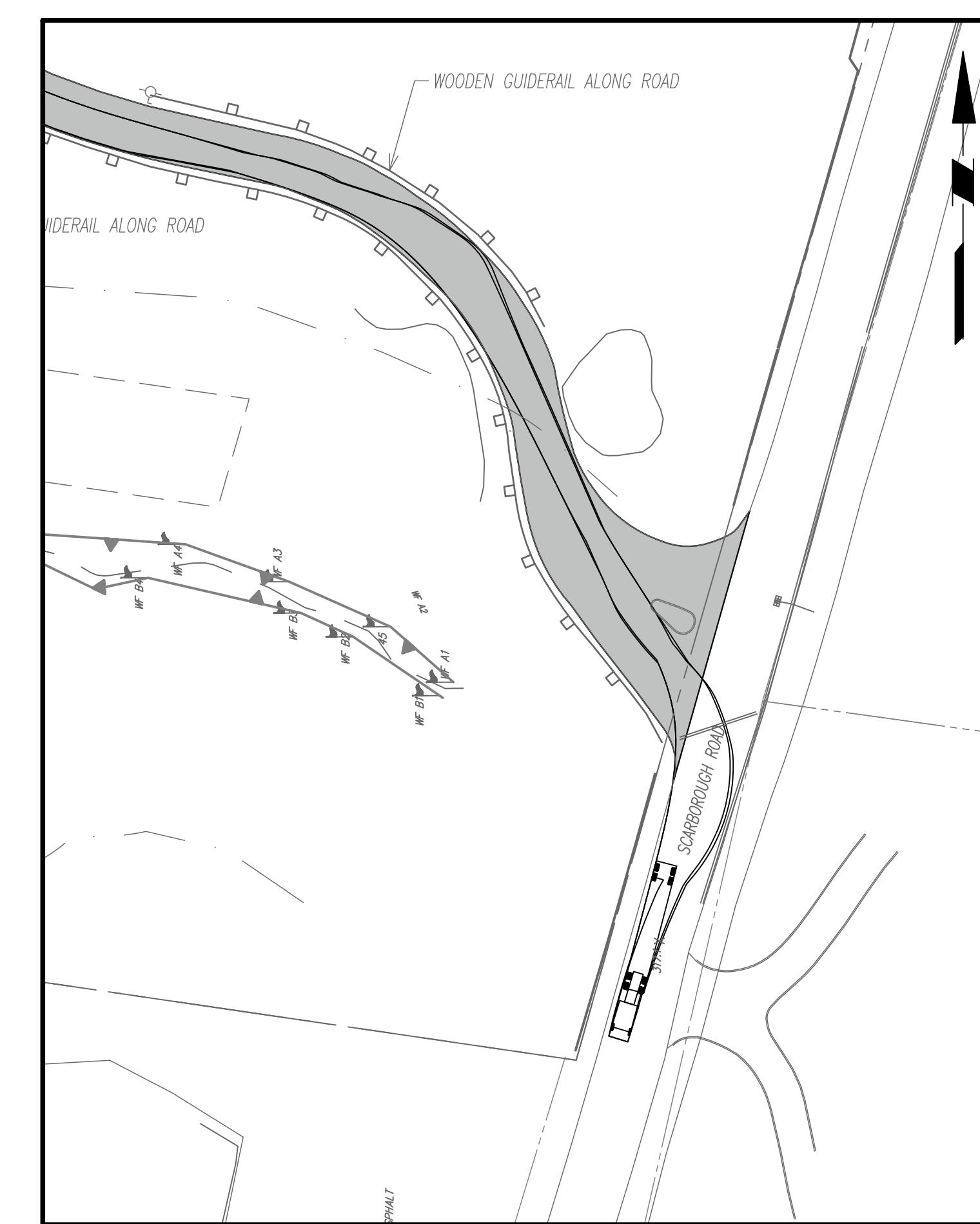
RIGHT TURN FROM SCARBOROUGH RD

SCALE 1" = 50'



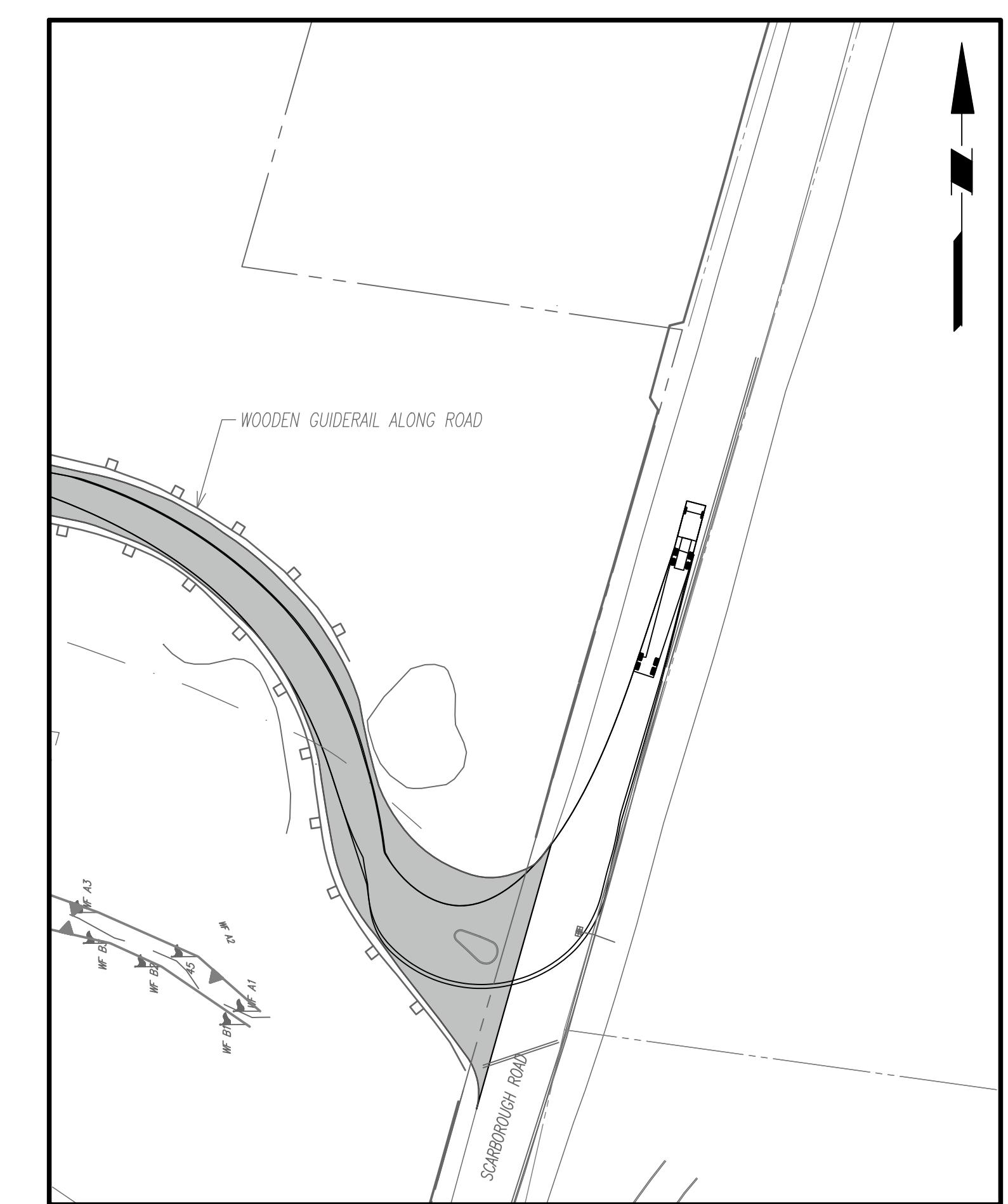
LEFT TURN FROM SCARBOROUGH RD

SCALE 1" = 50'



RIGHT TURN ONTO SCARBOROUGH RD

SCALE 1" = 50'

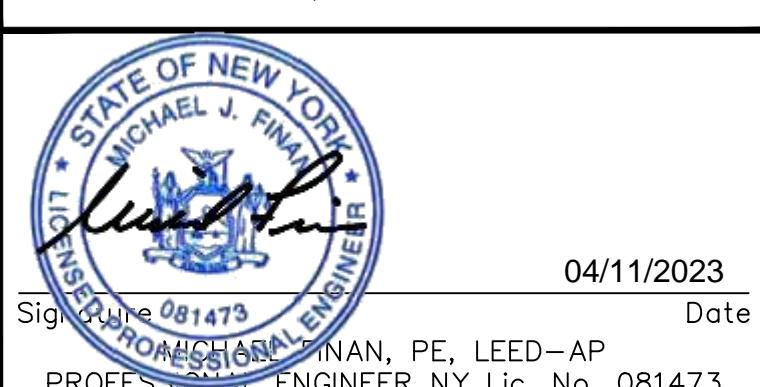


LEFT TURN ONTO SCARBOROUGH RD

SCALE 1" = 50'

Date	Description	No.
Revisions		
50	0	25

WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 148 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.



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Project

BRIARCLIFF SOLAR, LLC

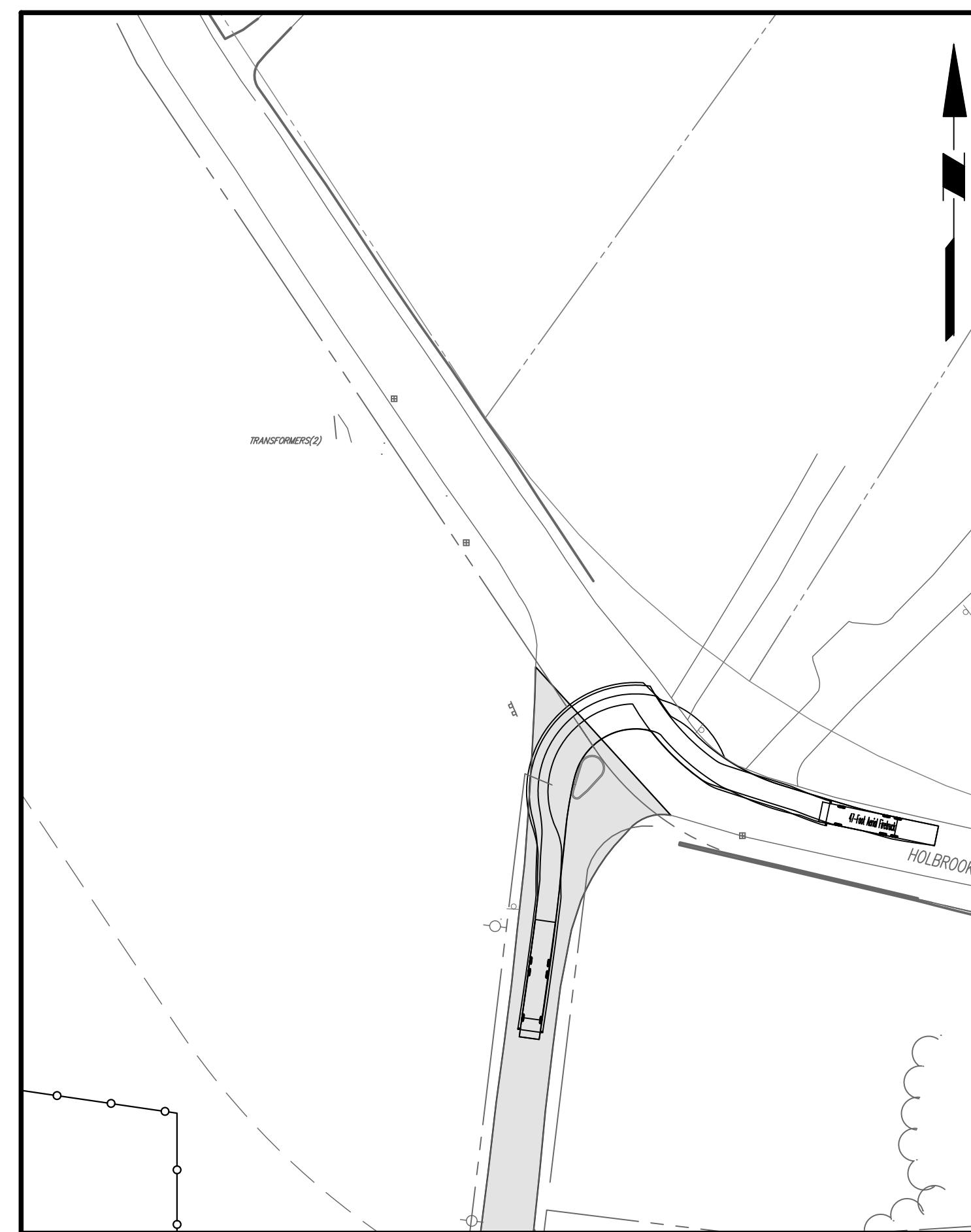
VILLAGE OF BRIARCLIFF MANOR  
WESTCHESTER COUNTY NEW YORK  
Drawing Title

## TURNING MOVEMENTS (2 OF 4)

Project No.	Drawing No.
190091001	
Date	
04/04/2023	
Drawn By	
SF	
Checked By	
CZ	

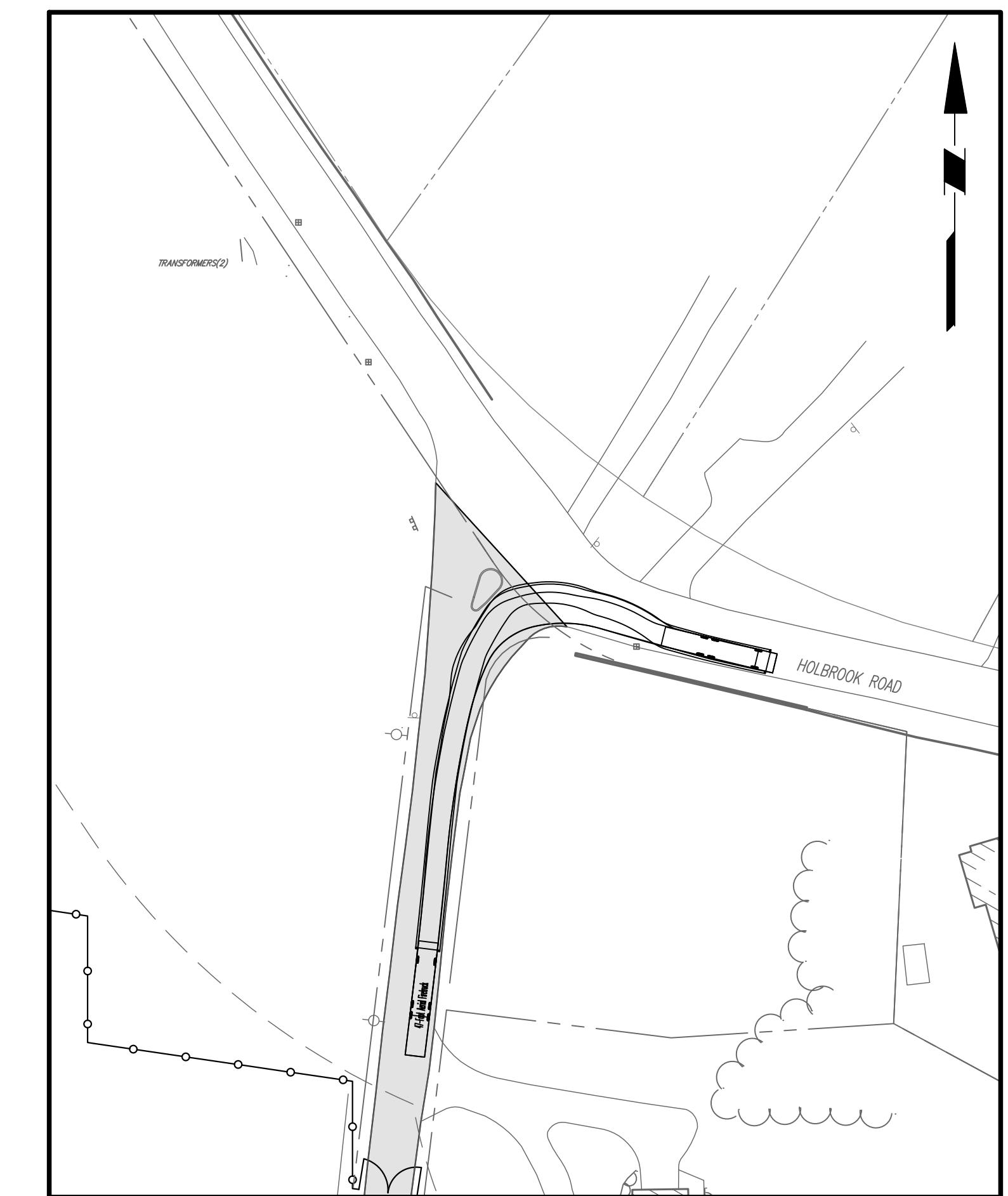
Sheet 14 of 37

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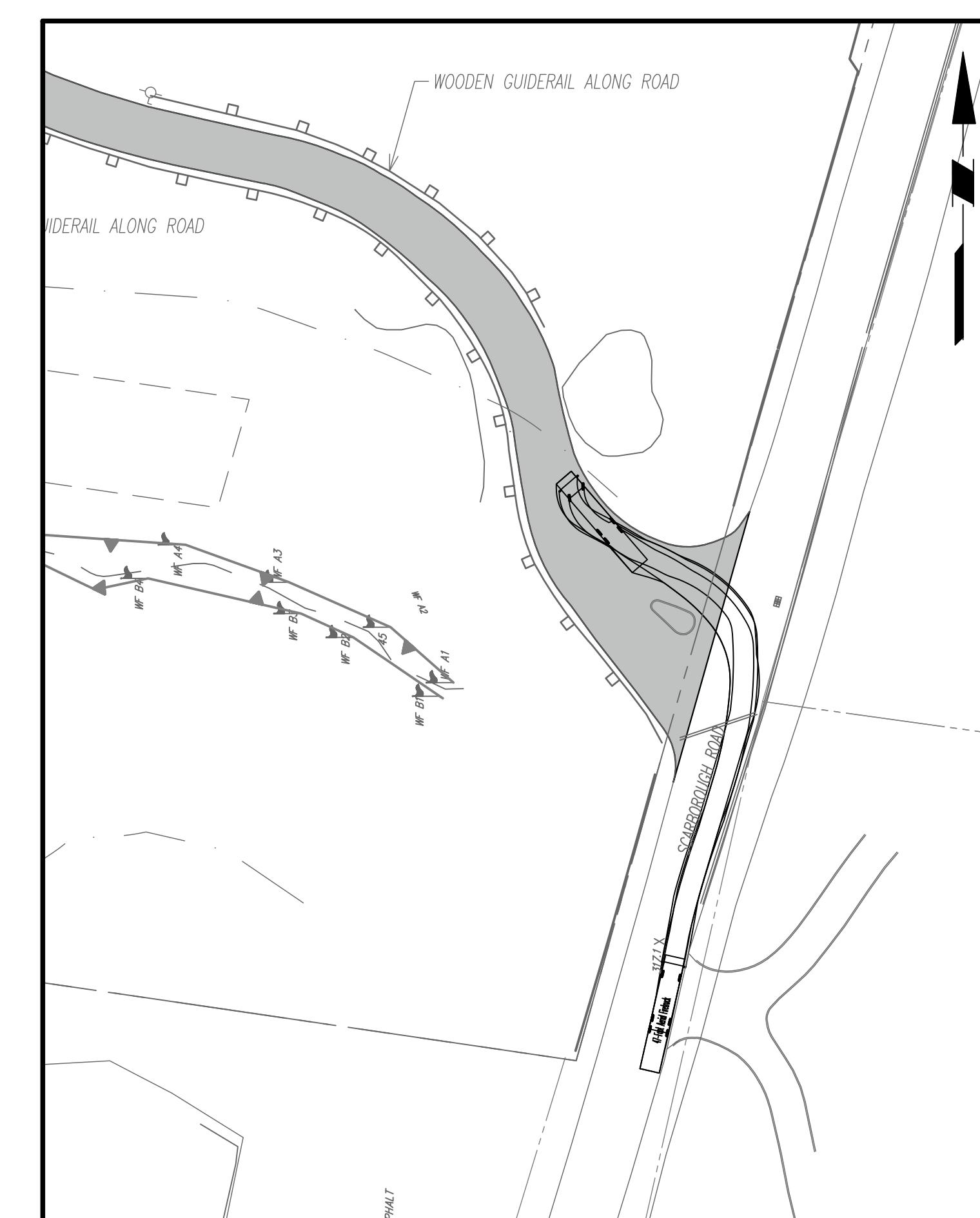
LEFT TURN FROM HOLBROOK RD  
(47' AERIAL FIRE TRUCK)

SCALE 1" = 50'



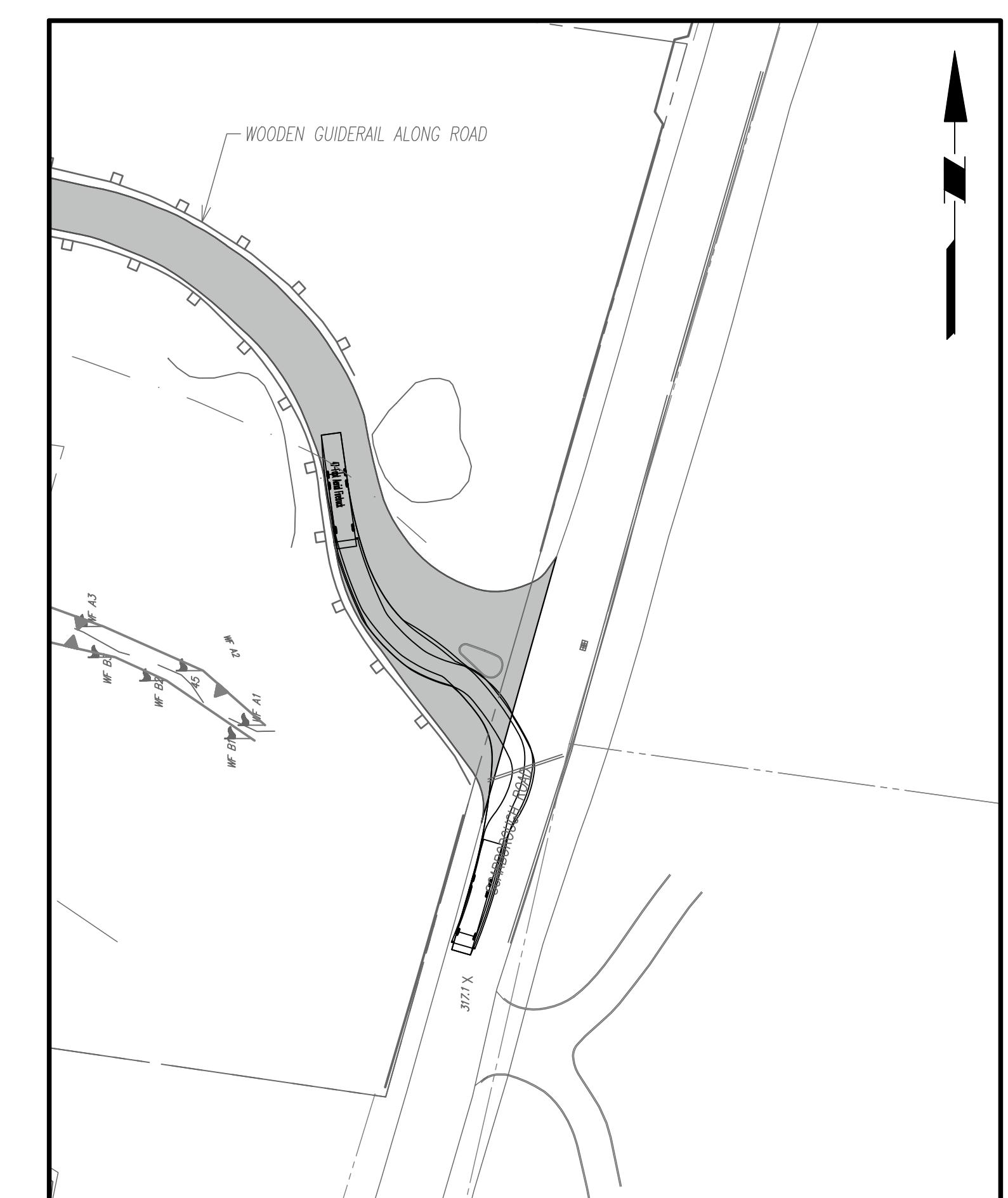
RIGHT TURN ONTO HOLBROOK RD  
(47' AERIAL FIRE TRUCK)

SCALE 1" = 50'



LEFT TURN FROM SCARBOROUGH RD  
(47' AERIAL FIRE TRUCK)

SCALE 1" = 50'



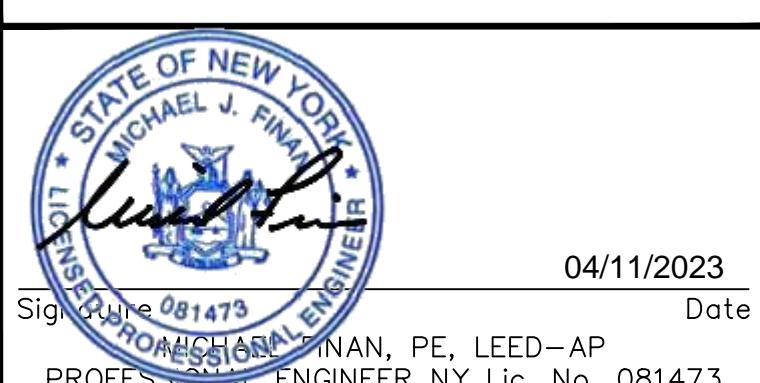
RIGHT TURN ONTO SCARBOROUGH RD  
(47' AERIAL FIRE TRUCK)

SCALE 1" = 50'

Date	Description	No.
Revisions		

50 0 25 50  
SCALE: 1 INCH = 50 FEET

WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 148 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.



04/11/2023 Date

Signature: 081473

PROFESSIONAL ENGINEER NY Lic. No. 081473

PROFESSIONAL ENGINEER, SURVEYOR, LAND SURVEYOR, AND GEOLOGIST, D.P.C.

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White Plains, NY 10601

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Project

BRIARCLIFF SOLAR, LLC

VILLAGE OF BRIARCLIFF MANOR  
WESTCHESTER COUNTY NEW YORK

Drawing Title

TURNING  
MOVEMENTS  
(3 OF 4)

Project No. 190091001 Drawing No.

Date 04/04/2023

Drawn By SF

Checked By CZ

CS203

Sheet 15 of 37

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# **RIGHT TURN FROM RTE 9 TO SCARBOROUGH RD (WB-67)**

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SCALE 1'



**LEFT TURN FROM RTE 9 TO SCARBOROUGH RD (WB-67)**

SCALE 1"



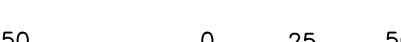
## **RIGHT TURN FROM SCARBOROUGH RD TO RTE 9 (WB-67)**

SCALE 1'



## **LEFT TURN FROM SCARBOROUGH RD TO RTE 9 (WB-67)**

SCALE 1"

Date	Description	No.
Revisions		
50	0	25
	SCALE: 1 INCH = 50 FEET	50

**WARNING:** IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.

The image shows the official seal of the State of New York for professional engineers. The seal is circular with a blue border containing the text "STATE OF NEW YORK" at the top and "PROFESSIONAL ENGINEER" at the bottom. Inside the border, there are stars on the left and right sides, and the name "MICHAEL J. FINAN" in the center. The center of the seal features a blue illustration of the New York State coat of arms, which includes a central shield with a bridge, flanked by two figures, and topped with a crest of a beaver. A large, handwritten signature of "Michael J. Finan" is written across the center of the seal. Below the seal, the date "04/11/2023" is printed. A horizontal line extends from the seal to the right, with the word "Signature" on the left and "Date" on the right. The name "MICHAEL J. FINAN, PE, LEED-AP" and the license number "081473" are printed below the date.

The logo for Langan Engineering, Environmental, Surveying, Landscape Architecture, and Geology, D.P.C. It features the word "LANGAN" in a large, bold, black, sans-serif font. Below the company name, the services offered are listed in a smaller, black, sans-serif font: "Engineering, Environmental, Surveying, Landscape Architecture, and Geology, D.P.C.".

# BRIARCLIFF SOLAR, LLC

Title

# TURNING MOVEMENTS (4 OF 4)

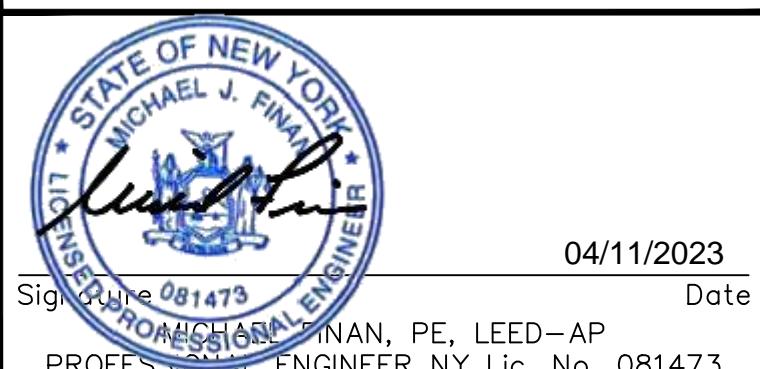
Project No.	Drawing No.
<b>190091001</b>	
Date	
<b>04/04/2023</b>	
Drawn By	
<b>SF</b>	
Checked By	
<b>CZ</b>	Sheet <b>16</b> of <b>37</b>



Date	Description	No.
Revisions		
50	0	25

SCALE: 1 INCH = 50 FEET

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Project

**BRIARCLIFF SOLAR, LLC**

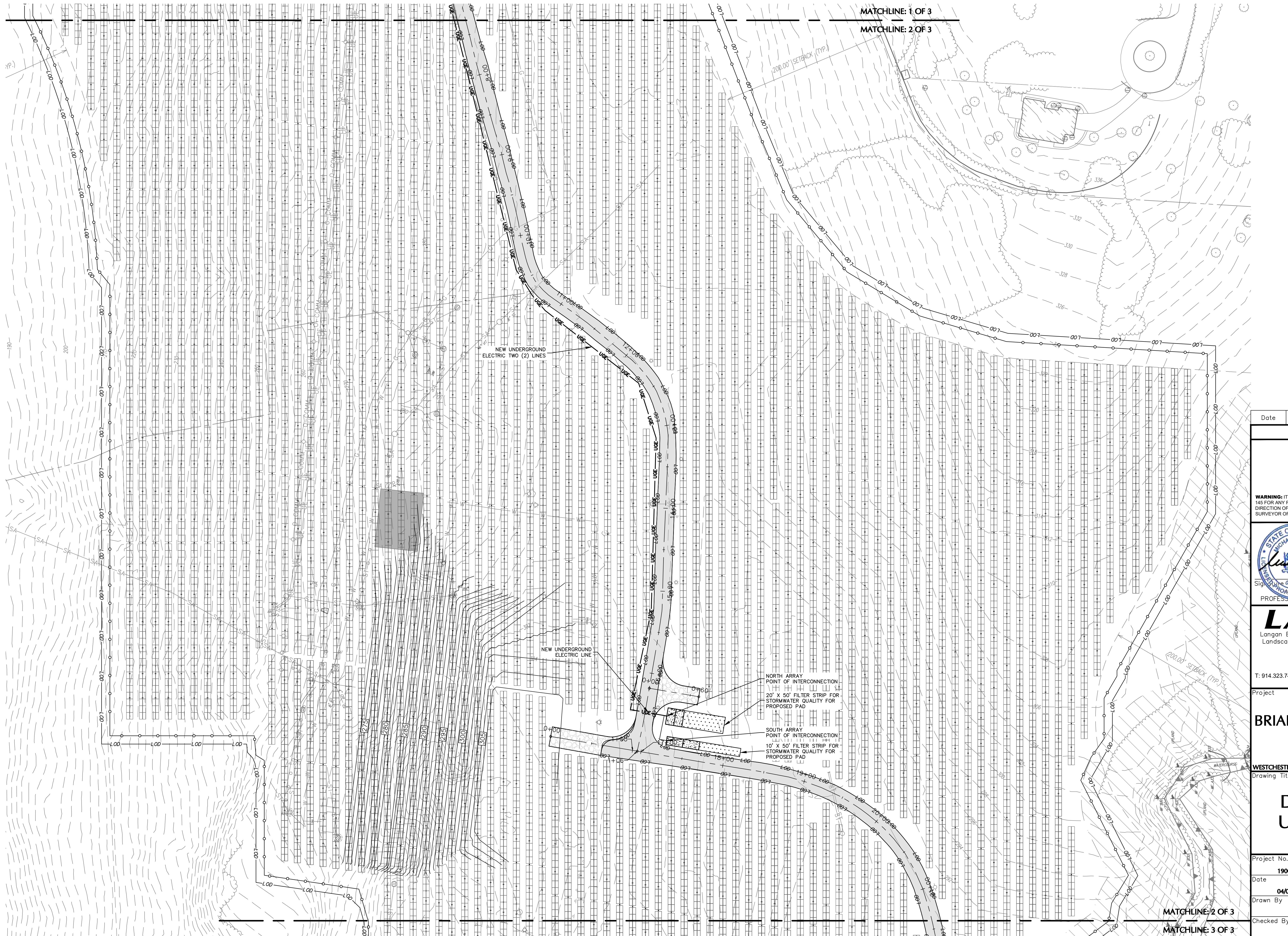
VILLAGE OF BRIARCLIFF MANOR  
WESTCHESTER COUNTY NEW YORK

Drawing Title  
**GRADING,  
DRAINAGE &  
UTILITY PLAN  
(1 OF 3)**

Project No.	Drawing No.
190091001	CG101
Date	
04/04/2023	
Drawn By	SF
Checked By	CZ

MATCHLINE: 1 OF 3

MATCHLINE: 2 OF 3



Date	Description	No.
Revisions		
50	0	25
		50

**WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.**

A circular blue stamp with a double-lined border. The outer ring contains the text "STATE OF NEW YORK" at the top and "PROFESSIONAL ENGINEER" at the bottom. The inner circle features a blue seal of the state of New York, which includes a central figure and the text "THE GREAT SEAL OF THE STATE OF NEW YORK". Overlaid on the center of the seal is a handwritten signature in black ink. To the right of the stamp, the date "04/11/2023" is printed. Below the stamp, the handwritten signature "Michael Finan" is written above the printed text "MICHAEL J. FINAN, PE, LEED-AP" and "PROFESSIONAL ENGINEER, NY Lic. No. 081473".

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Landscape Architecture, and Geology, D.P.C.

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White Plains, NY 10601

# BRIARCLIFF SOLAR, LLC

VILLAGE OF BRIARCLIFF MANOR  
WESTCHESTER COUNTY NEW YORK

Drawing Title

# GRADING, DRAINAGE & UTILITY PLAN (2 OF 3)

Project No.	Drawing No.
<b>190091001</b>	
Date	
<b>04/04/2023</b>	
Drawn By	
<b>SF</b>	
Checked By	
<b>CZ</b>	Sheet <b>18</b> of <b>37</b>



VANGA

Project No. 190091001

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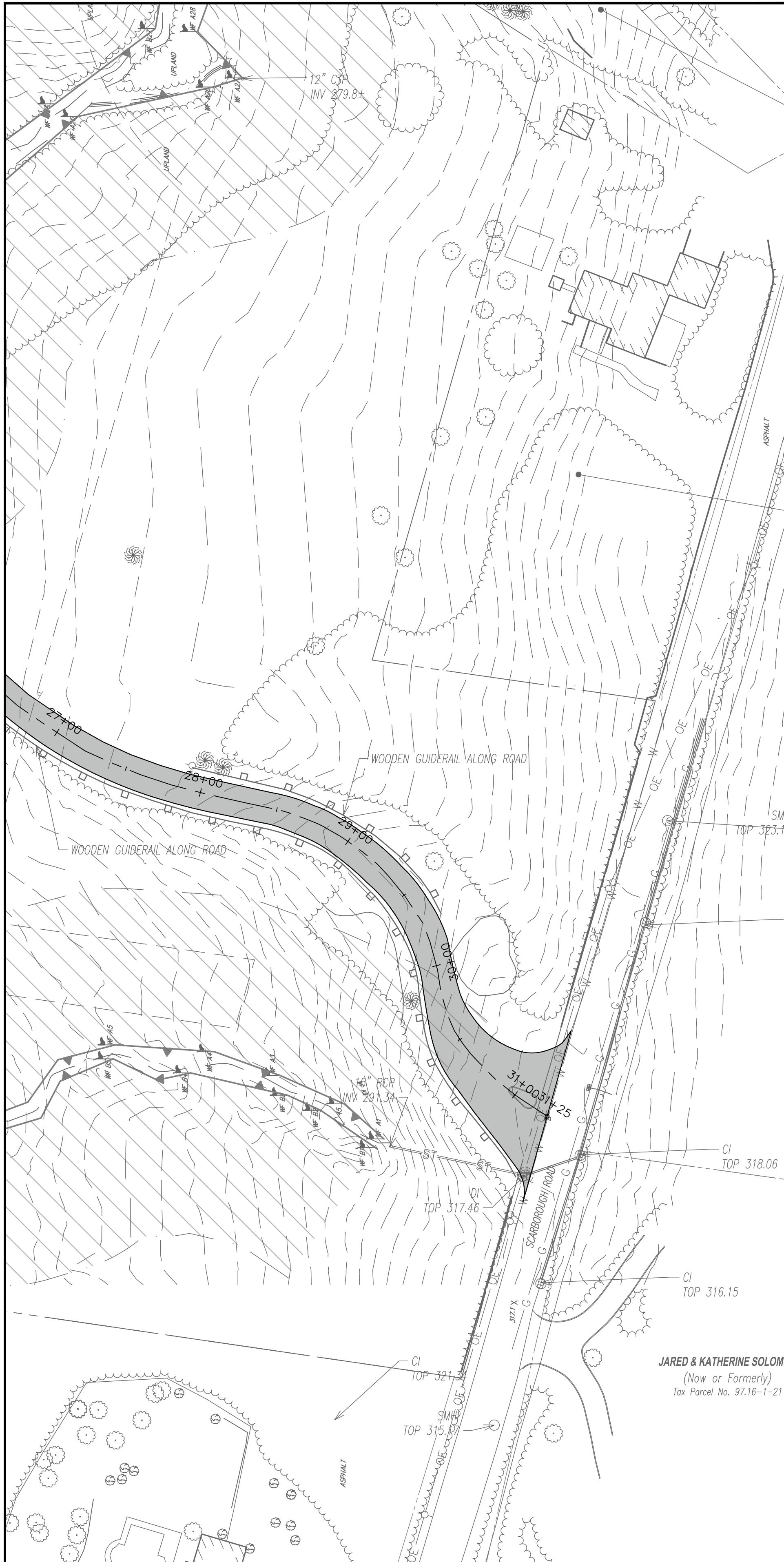
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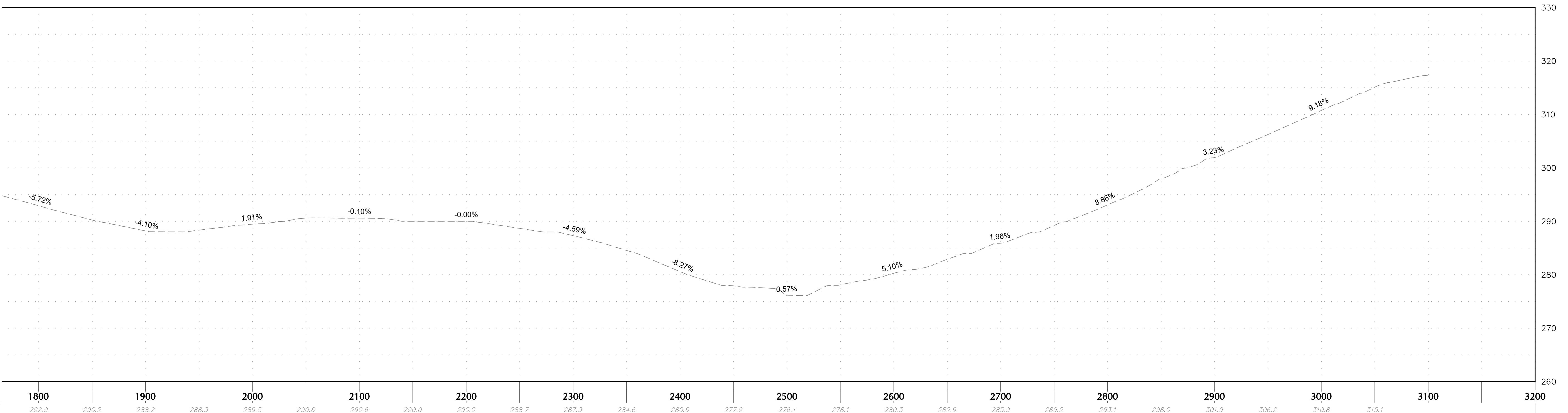
# BRIARCLIFF SOLAR, LLC

VILLAGE OF BRIARCLIFF MANOR  
WESTCHESTER COUNTY NEW YORK

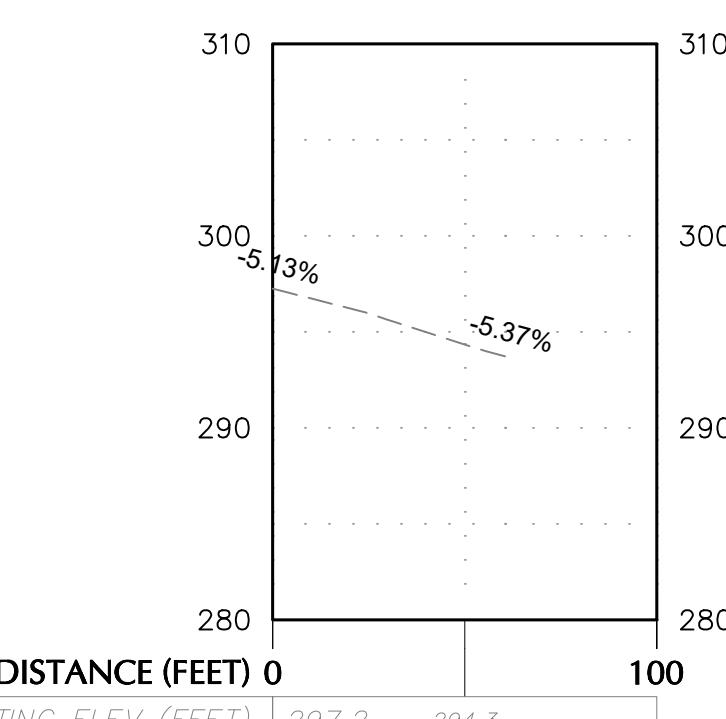
Drawing Title **GRADING,  
DRAINAGE &  
UTILITY PLAN  
(3 OF 3)**

Project No.	Drawing No.
<b>190091001</b>	
Date	
<b>04/04/2023</b>	
Drawn By	<b>CG103</b>
SF	
Checked By	
CZ	Sheet <b>19</b> of <b>37</b>

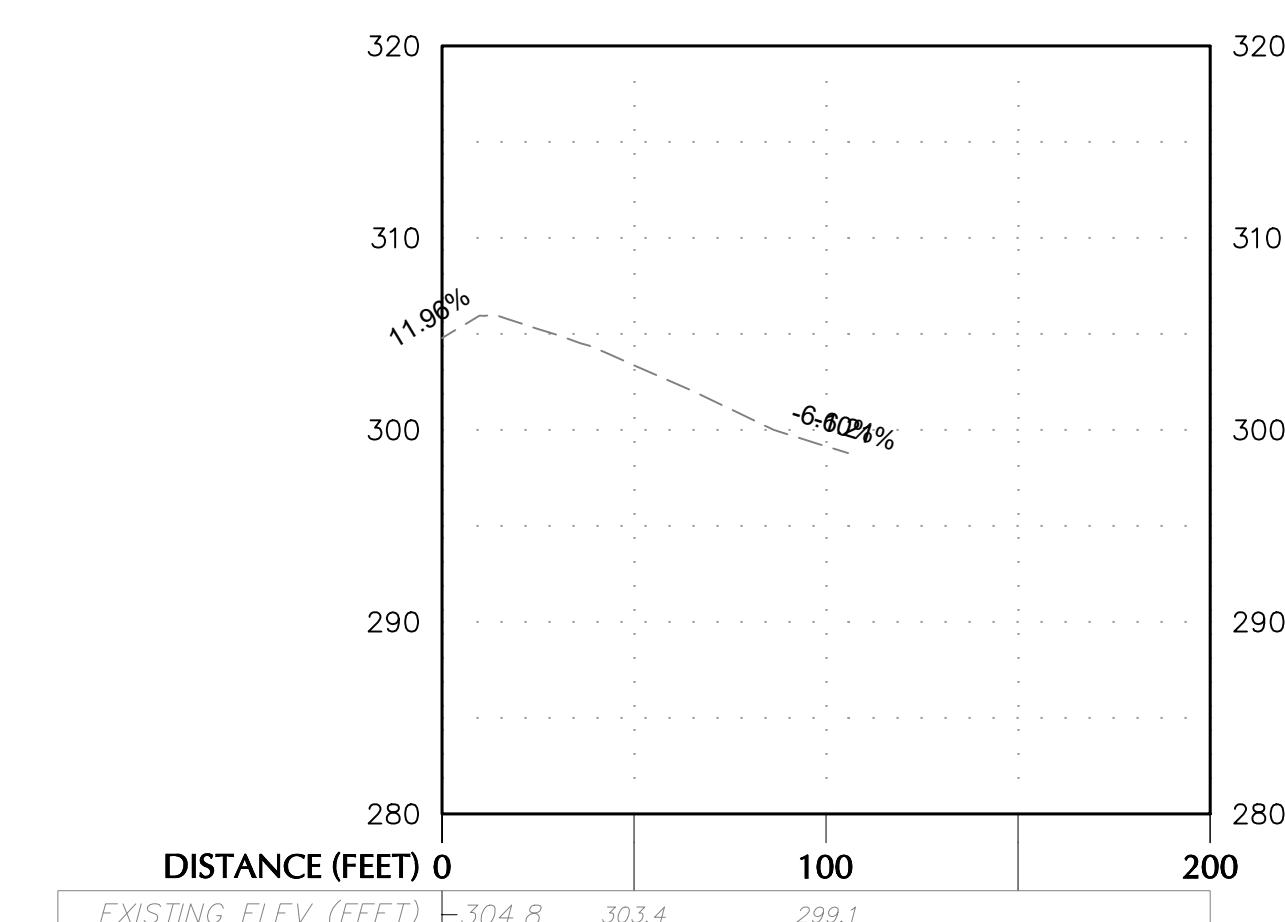




ACCESS ROAD PROFILE STA. 1800 TO 3200

SCALE 1" = 50' H  
1" = 10' V

PAD DRIVE PROFILE

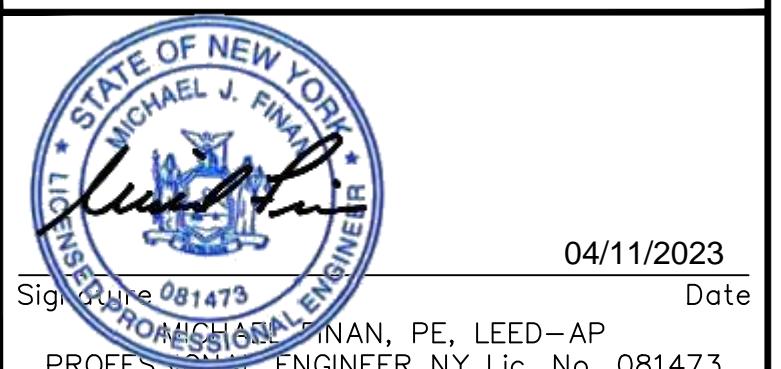
SCALE 1" = 50' H  
1" = 10' V

TURN AROUND PROFILE

SCALE 1" = 50' H  
1" = 10' V

Date	Description	No.
Revisions		
10	0 2 4	10
50	0 25	50
VERTICAL SCALE: 1 INCH = 10 FEET		
HORIZONTAL SCALE: 1 INCH = 50 FEET		

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Project

BRIARCLIFF SOLAR, LLC

VILLAGE OF BRIARCLIFF MANOR  
WESTCHESTER COUNTY NEW YORK  
Drawing Title

ACCESS ROAD  
PROFILE (2 OF 2)

Project No. 190091001 Drawing No. CG202  
Date 04/04/2023  
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Checked By CZ  
Sheet 21 of 37  
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# BRIARCLIFF SOLAR, LLC

**VILLAGE OF BRIARCLIFF MANOR**  
**WESTCHESTER COUNTY** **NEW YORK**

# EROSION & SEDIMENT CONTROL PLAN (3 OF 3)

Project No.	Drawing No.
<b>190091001</b>	
Date	
<b>04/04/2023</b>	
Drawn By	<b>CE103</b>
SF	
Checked By	
CZ	Sheet <b>24</b> of <b>37</b>



CONSTRUCTION SEQUENCE KEY	
CL	COMPLETE TREE REMOVAL AND STUMPING.
ESC	INSTALL EROSION AND SEDIMENT CONTROL PRACTICES.
FNC	INSTALL FENCE.
GR	SITE GRADING.
LD	REMOVE TEMPORARY LAYDOWN AREA. STABILIZE THE DISTURBED AREA.
RD	CONSTRUCT ACCESS ROAD, TEMPORARY LAYDOWN AREA, AND/OR INVERTER PADS.
RDF	COMPLETE SITE RESTORATION OVER PERMEABLE HAUL ROAD AND FINALIZE INSTALLATION.
RM	REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES. STABILIZE THE DISTURBED AREA.
RST	COMPLETE SITE RESTORATION. APPLY SEED AND MULCH.
SMP	INSTALL GRASS FILTER STRIP.
SOL	INSTALL SOLAR PANELS.
TS	APPLY TEMPORARY SEED AND MULCH.

**NOTES:**

1. PHASE AND DESCRIPTIONS ARE INTENDED TO PROVIDE A GENERAL DESCRIPTION OF GROUND DISTURBING ACTIVITIES. GROUND DISTURBANCES SUCH AS TRENCHING FOR CONDUIT AND OTHER ELECTRICAL EQUIPMENT INSTALLATION NEEDS MAY ALSO BE OCCURRING DURING ANY GIVEN PHASE. THE OVERALL DISTURBANCE WILL BE MONITORED BY THE QUALIFIED INSPECTOR TO ENSURE THE SITE DISTURBANCE REMAINS UNDER FIVE ACRES AT ANY GIVEN TIME.

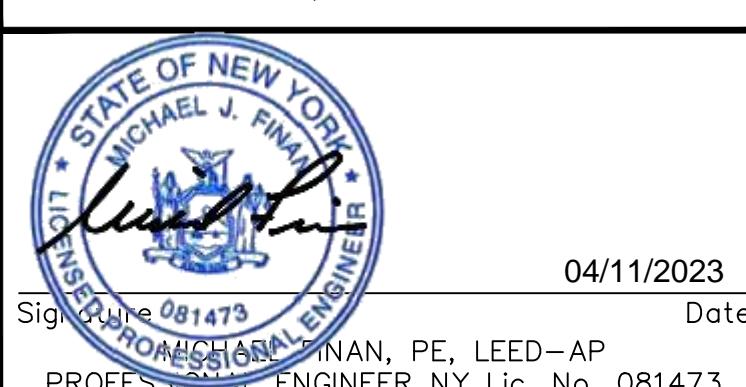
2. PROPOSED PHASING IS TO BE IMPLEMENTED AFTER DEMOLITION OF EXISTING STRUCTURES IS COMPLETED.

CONSTRUCTION SEQUENCE															
PHASING AREA	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
1	CL ESC	RD GR TS													
2		CL ESC	SOL TS												
3			CL ESC	SOL TS											
4				CL ESC	SOL TS										
5					CL ESC	GR SOL TS									
6						CL ESC	SOL TS								
7							CL ESC	SOL TS							
8								CL ESC	SOL TS						
9									CL ESC	SOL TS					
10										CL ESC	SOL TS				
FINAL												FNC SMP	RDF	RST	RD LD

Date	Description	No.
Revisions		
150	0	75

SCALE: 1 INCH = 150 FEET

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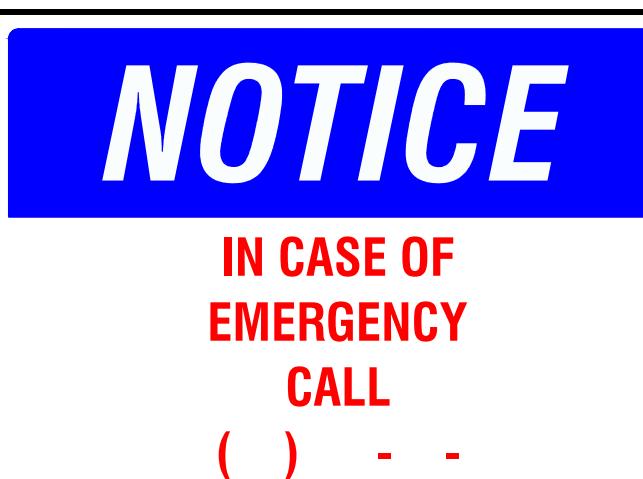
Project

**BRIARCLIFF SOLAR, LLC**

VILLAGE OF BRIARCLIFF MANOR  
WESTCHESTER COUNTY  
NEW YORK  
Drawing Title

**PHASING PLAN**

Project No.	Drawing No.
190091001	
Date	
04/04/2023	
Drawn By	
SF	
Checked By	
CZ	
Sheet 25 of 37	

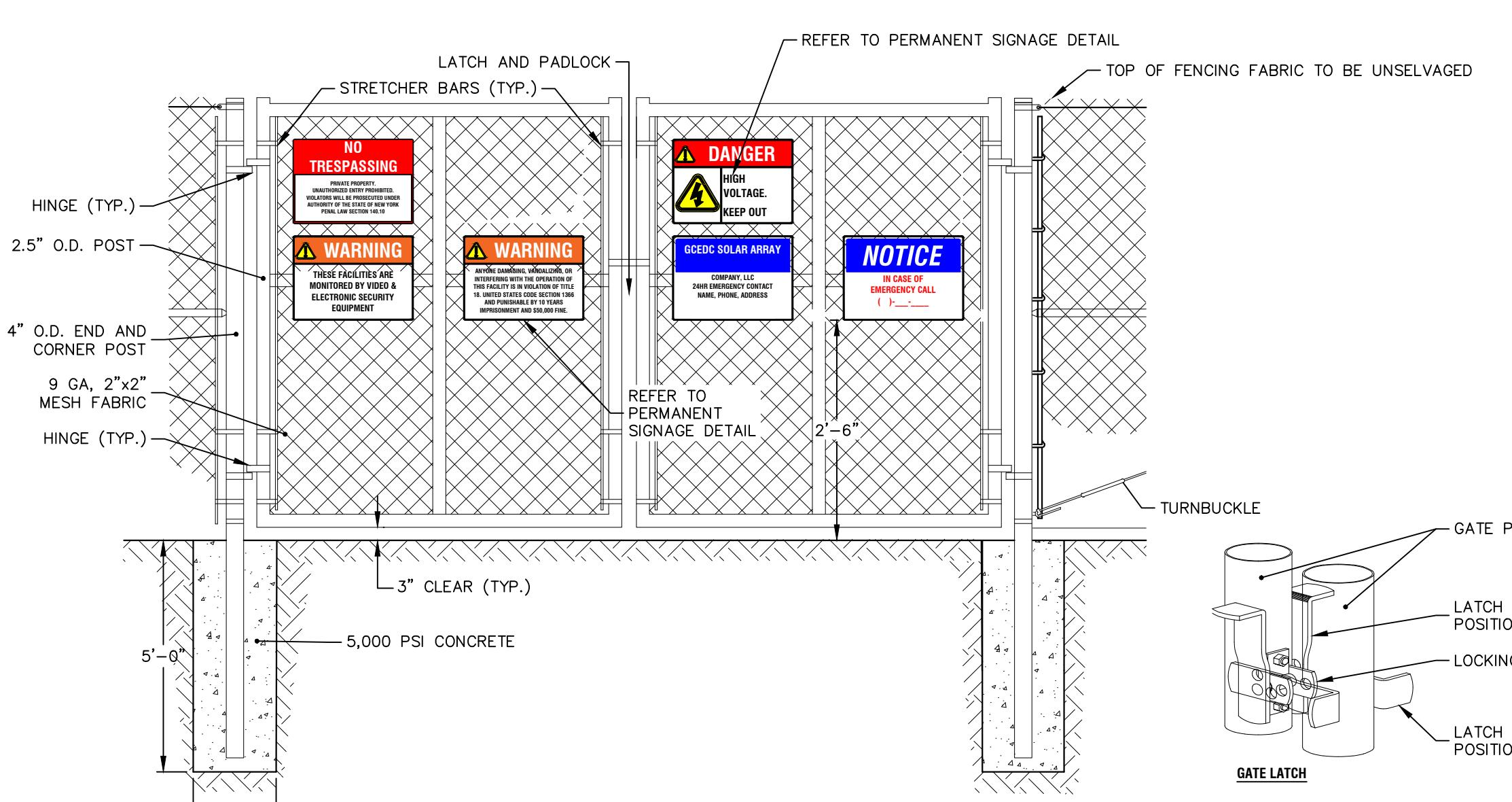


NOTES:

1. ALL SIGNS TO BE 18" x 24" IN SIZE
2. SIGNS SHALL BE UV RESISTANT AND IN COLOR. SIGN MATERIAL SHALL BE HDPE OR LIGHT GAGE GALVANIZED STEEL.
3. SIGNS TO BE ATTACHED TO FENCING WITH PERMANENT FASTENERS.

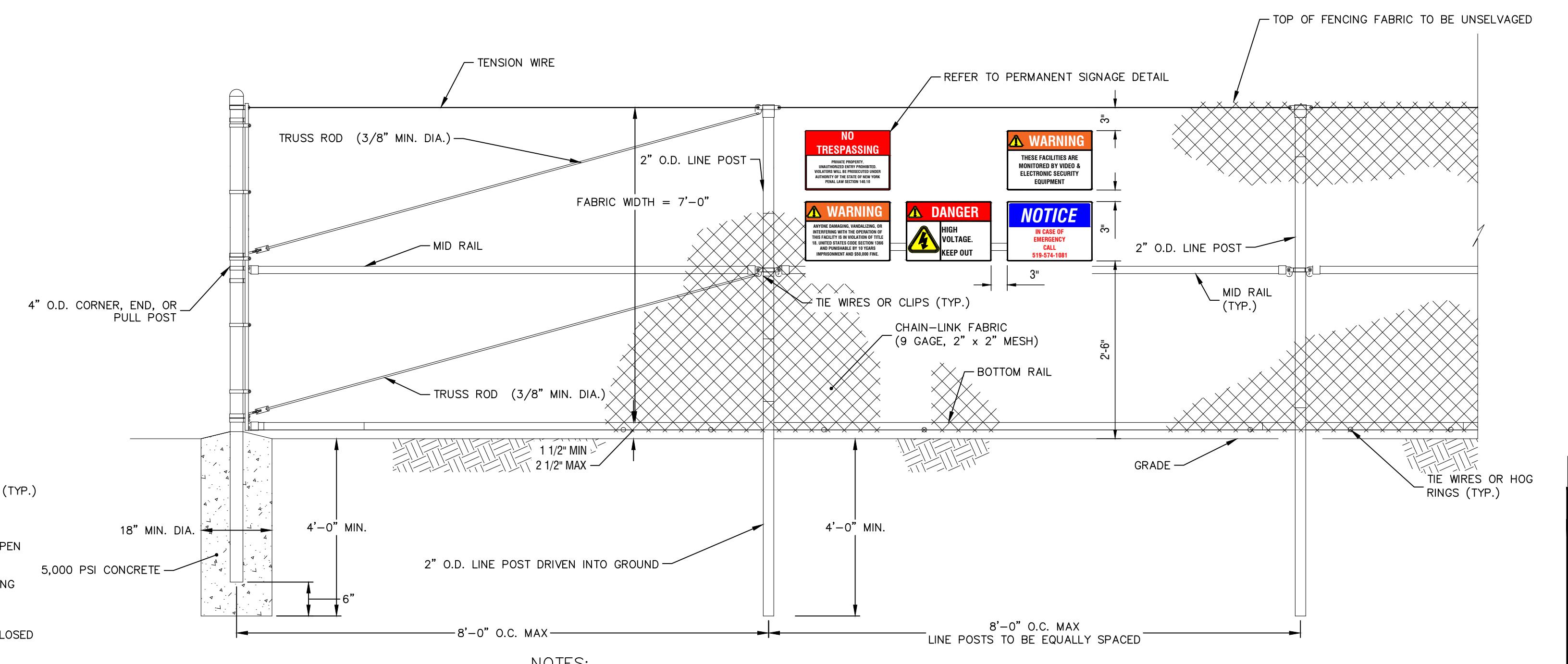
#### PROJECT SIGNAGE

SCALE: NTS



7' TALL 24' WIDE DOUBLE SWING GATE

SCALE: NTS



7' HIGH SECURITY FENCE

SCALE: NTS

Date	Description	No.
Revisions		
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 MICHAEL J. FINAN STATE OF NEW YORK 04/11/2023 Signature 081473 MICHAEL J. FINAN, PE, LEED-AP PROFESSIONAL ENGINEER NY Lic. No. 081473		

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Project

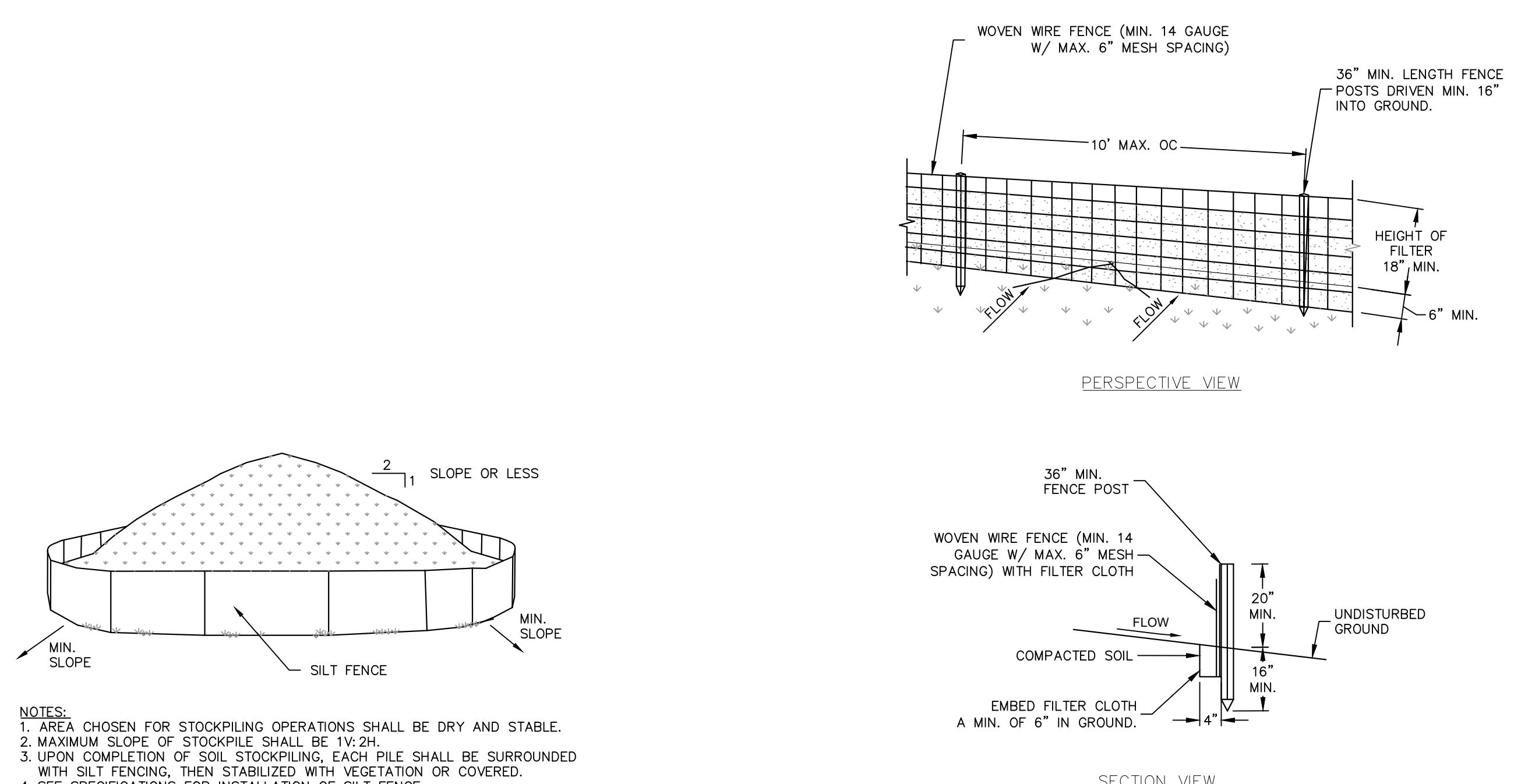
**BRIARCLIFF SOLAR, LLC**

VILLAGE OF BRIARCLIFF MANOR  
 WESTCHESTER COUNTY  
 NEW YORK  
 Drawing Title

**DETAILS (1 OF 3)**

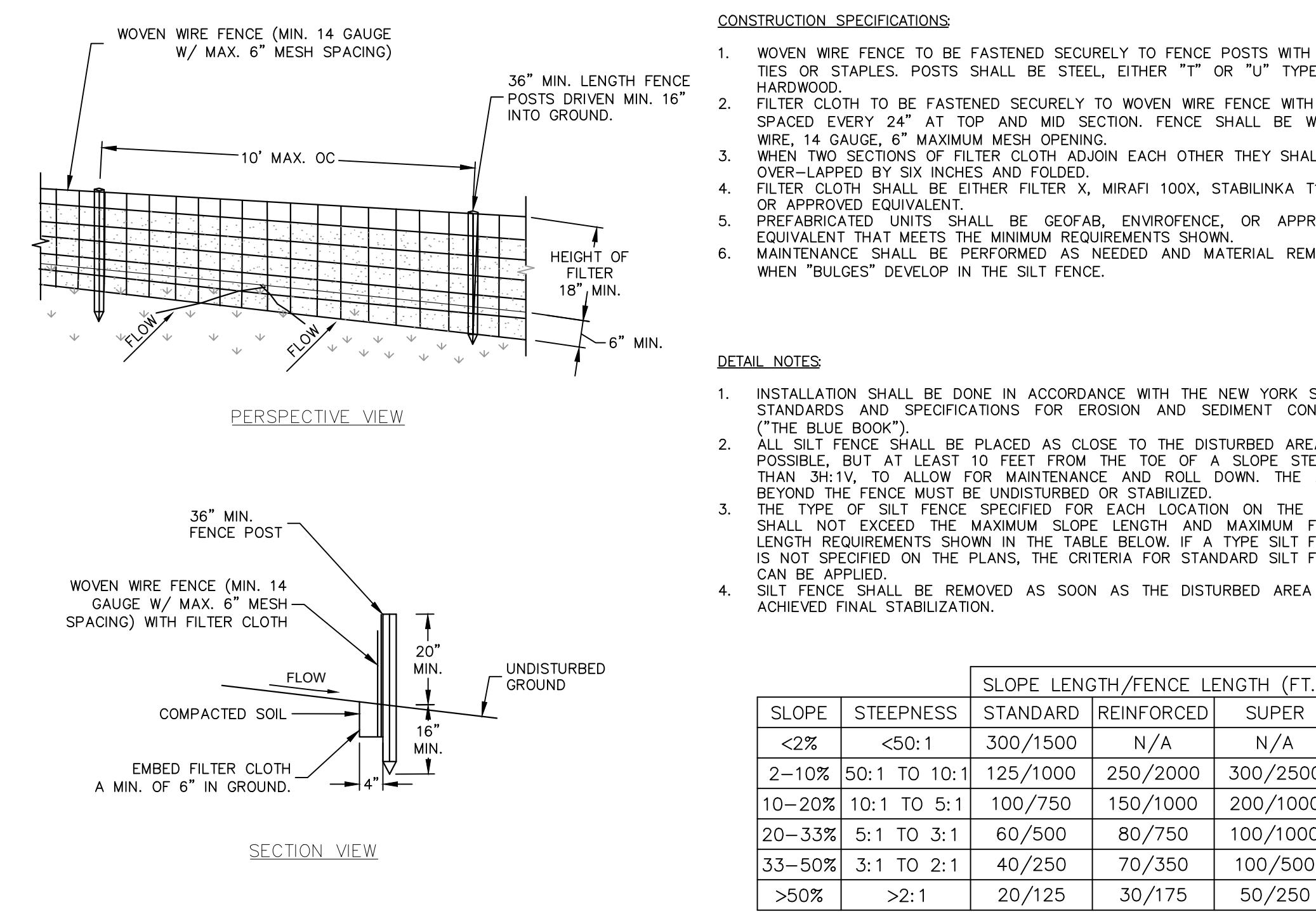
Project No. 190091001	Drawing No.
Date 04/04/2023	CS501
Drawn By SF	
Checked By	
CZ	

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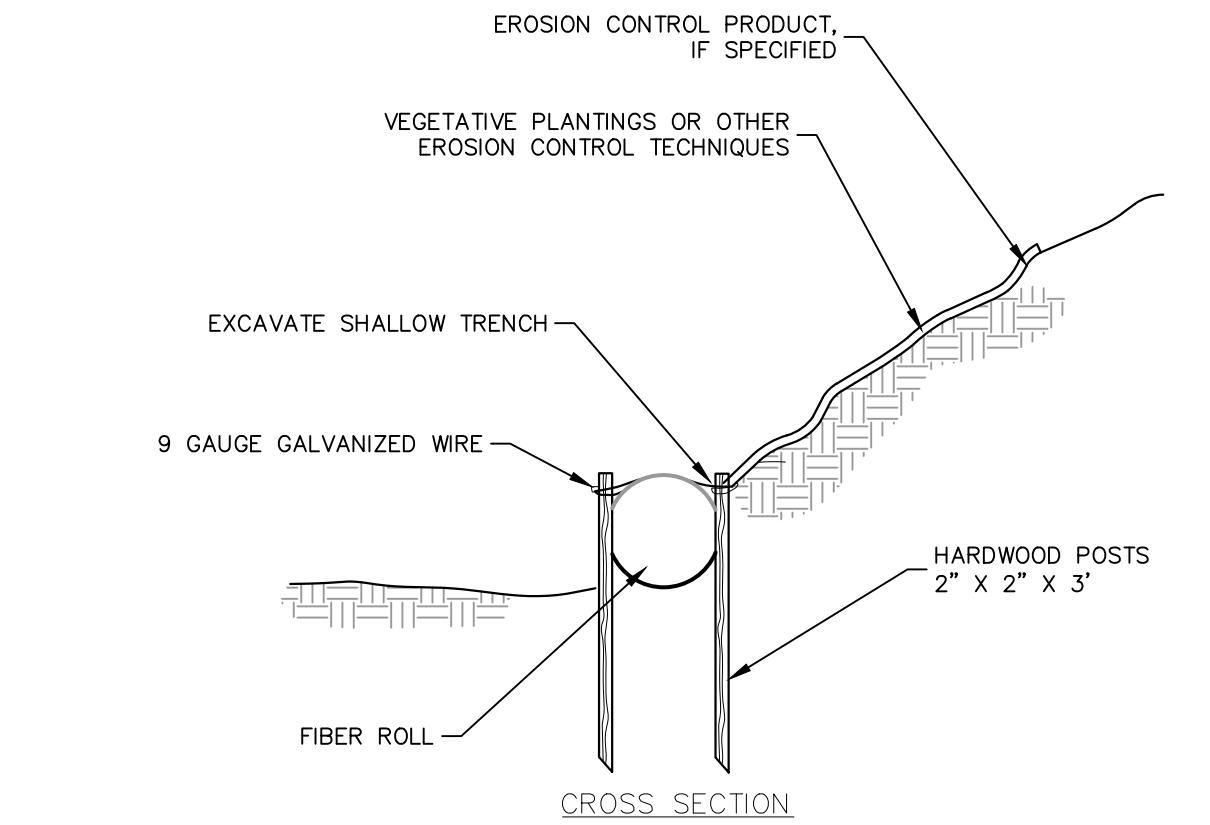
### TEMPORARY STOCKPILE

SCALE: NTS



### SILT FENCE

SCALE: NTS

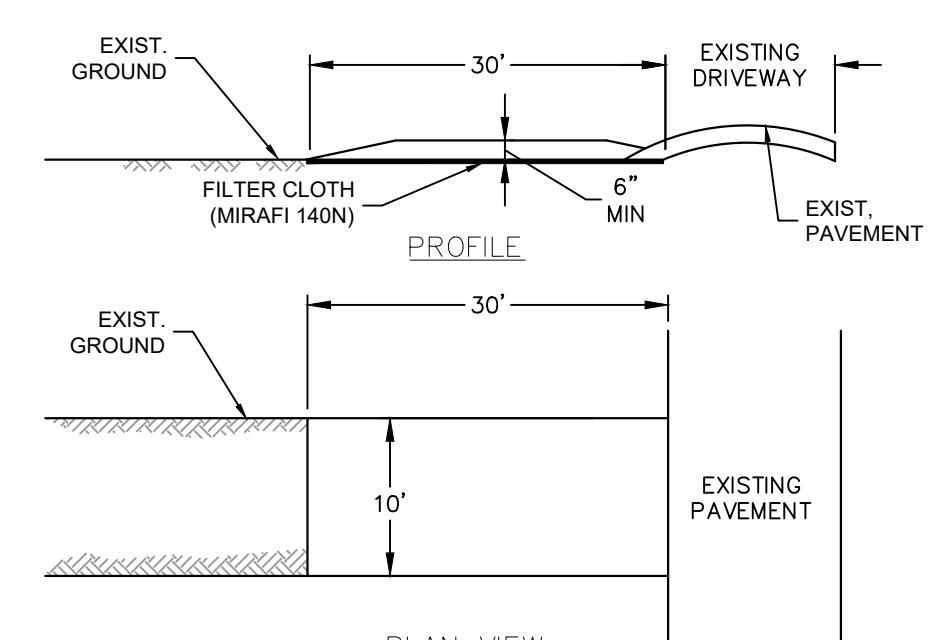


### CONSTRUCTION SPECIFICATIONS

1. INSTALLATION SHALL BE DONE IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL ("THE BLUE BOOK").
2. ALL FENCE SHALL BE PLACED AS CLOSE TO THE DISTURBED AREA AS POSSIBLE, BUT AT LEAST 10 FEET FROM THE TOE OF A SLOPE STEEPER THAN 3H:1V, TO ALLOW FOR MAINTENANCE AND ROLL DOWN. THE AREA BEYOND THE FENCE MUST BE UNDISTURBED OR STABILIZED.
3. THE TYPE OF SILT FENCE SPECIFIED FOR EACH LOCATION ON THE PLAN SHALL NOT EXCEED THE MAXIMUM SLOPE LENGTH AND MAXIMUM FENCE LENGTH REQUIREMENTS SHOWN IN THE TABLE BELOW. IF A TYPE SILT FENCE IS NOT SPECIFIED ON THE PLANS, THE CRITERIA FOR STANDARD SILT FENCE CAN BE APPLIED.
4. SILT FENCE SHALL BE REMOVED AS SOON AS THE DISTURBED AREA HAS ACHIEVED FINAL STABILIZATION.

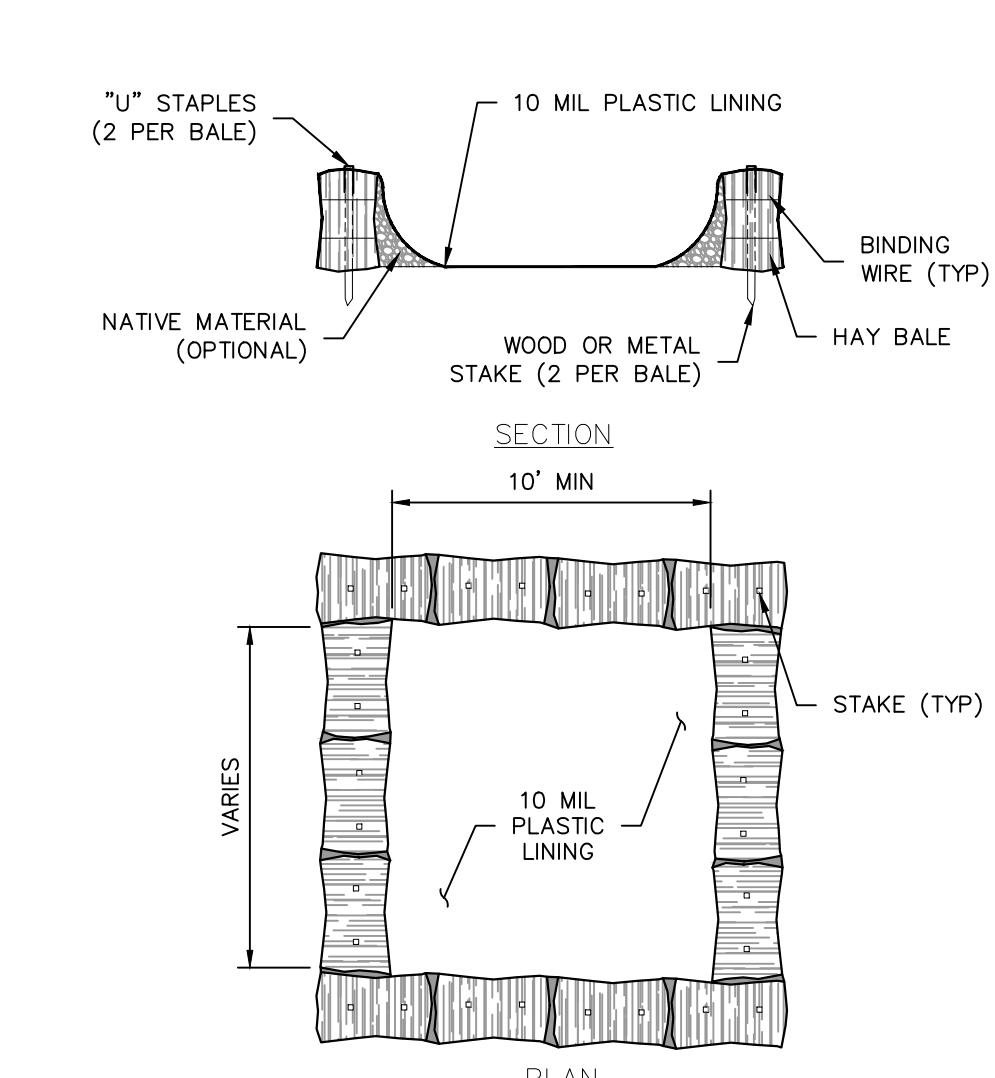
### FIBER ROLL

SCALE: NTS



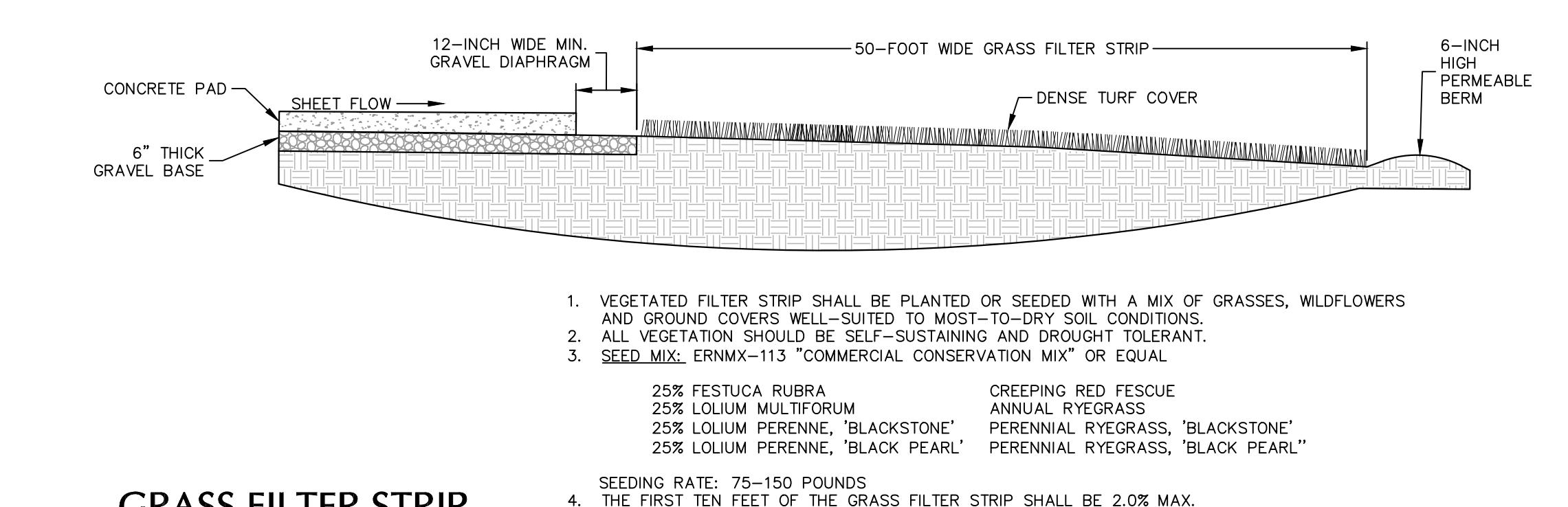
### ANTI-TRACKING PAD

SCALE: NTS



### ABOVE GROUND TEMPORARY CONCRETE WASHOUT FACILITY

SCALE: NTS



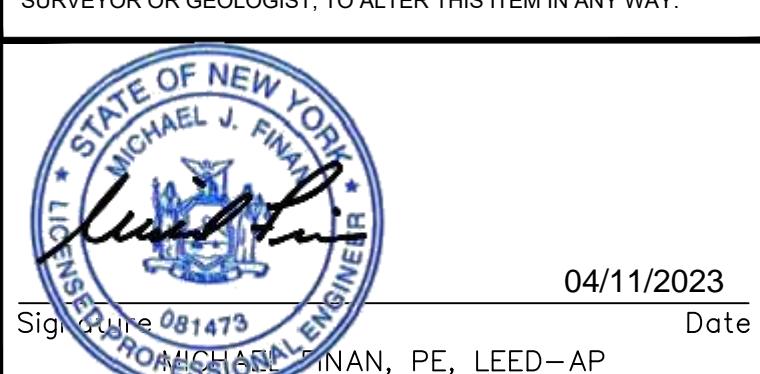
1. CONCRETE WASHOUT SIGN TO BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
2. REMOVE HARDEN CONCRETE WHEN WITHIN 4" FROM TOP OF STRUCTURE.
3. CONSTRUCT NEW FACILITIES ONCE CURRENT FACILITIES ARE TWO-THIRDS FULL.
4. LINERS, HAY BALES, ETC. SHALL BE INSPECTED FOR DAMAGE. ANY DAMAGE SHALL BE REPAIR PROMPTLY.

### GRASS FILTER STRIP

SCALE: NTS

Date	Description	No.
Revisions		

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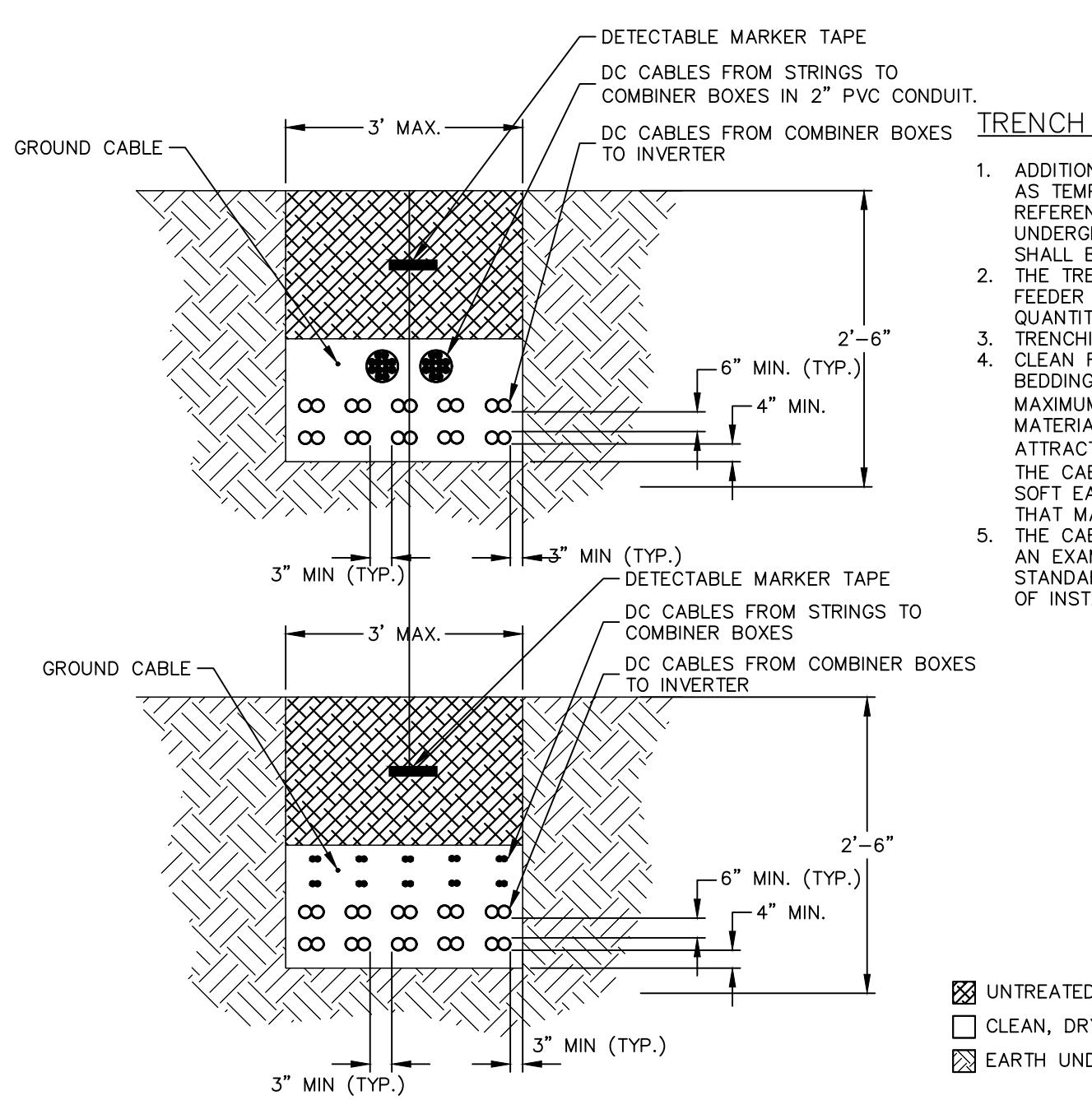
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Project

**BRIARCLIFF SOLAR, LLC**

VILLAGE OF BRIARCLIFF MANOR  
WESTCHESTER COUNTY NEW YORK  
Drawing Title

Project No.	Drawing No.
190091001	
Date	04/04/2023
Drawn By	SF
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## TRENCH NOTES:

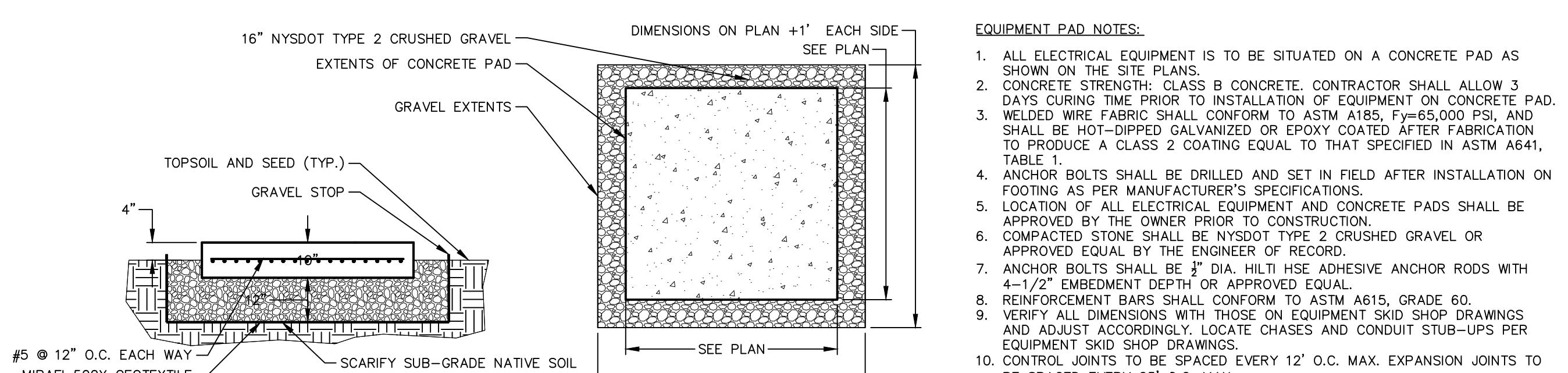
1. ADDITIONAL MISCELLANEOUS CABLES FROM FIELD DEVICES SUCH AS TEMPERATURE TRANSMITTERS, METEOROLOGICAL STATIONS, REFERENCE POINTS, SIGNALLING DEVICES, ETC. SHALL UTILIZE THE UNDERGROUND TRENCH SYSTEM WHERE IT IS APPLICABLE. CABLES SHALL BE INSTALLED AT LAYERS AS INDICATED.
2. THE TRENCH DETAIL BELOW SHOWS A SAMPLE NUMBER OF DC FEEDER CABLES FROM DC COMBINER BOXES. SPECIFIC CABLE QUANTITIES ARE SHOWN IN THE TRENCH DETAIL SECTION.
3. TRENCHES SHALL COMPLY WITH THE LATEST STANDARDS.
4. CLEAN FILL REQUIREMENTS: TRENCHING BEDDING SHALL BE SAND OR ROCK-FEE FILL SCREENED TO A MAXIMUM 1/4" SIZE AS A CUSHING (FREE OF SHARP EDGE MATERIAL, ROTTING WOOD OR ORGANIC MATTER THAT MIGHT ATTRACT INSECTS).
5. THE TRENCH FLOOR WILL BE COVERED WITH "CLEAN FILL" SAND OR SOFT EARTH, FREE FROM STONES, ROCKS OR OTHER MATERIAL THAT MAY DAMAGE THE CABLE DURING BACKFILL.
6. THE CABLES CROSS-SECTION AND THE NUMBER SHOWN IS ONLY AN EXAMPLE. ALL CABLES SHALL BE IN ACCORDANCE WITH STANDARDS AND SHALL BE SIZED ACCORDING TO USE AND TYPE OF INSTALLATION.

## NOTES:

1. CONDUCTORS TO BE 1000V RATED FOR DIRECT BURIAL. MEDIUM VOLTAGE CONDUCTORS FROM PS1 TO BE RATED FOR CLASS 35KV, AND MEDIUM VOLTAGE CONDUCTORS FROM PS2 TO BE RATED FOR CLASS 15KV.
2. CONDUCTORS OF THE SAME CIRCUIT TO BE NEXT TO EACH OTHER; COMBINER CIRCUITS TO BE SPACED 4.5" FROM EACH OTHER UNLESS POSTED OTHERWISE (HORIZONTAL/VERTICAL DIRECTIONS).
3. COMMUNICATIONS TO BE BURIED 1' AWAY FROM ALL POWER CONDUCTORS. USE DIRECT BURY RATED FIBER CABLE.
4. 3" OR 4" PVC SCH80 JUMP-CONDUIT SHALL BE UTILIZED FOR ROW-TO-ROW STRING CIRCUITS WIRING.
5. POWER SUPPLY CABLES TO ARC FAULT CIRCUIT INTERRUPTION CIRCUITS SHALL BE LOCATED AT A MINIMUM 1' FROM DC CIRCUITS.
6. CONTRACTOR SHALL SIZE THE ROW-TO-ROW JUMPER CONDUIT FOR THE CONDUCTORS USED, WITH PVC SCHEDULE 80, A TOTAL OF 60 #10 HOMERUN CABLES CAN FIT INTO A STANDARD 4" PVC CONDUIT. CONTACT THE ENGINEER IF ADDITIONAL GUIDANCE IS REQUIRED.

## TYPICAL TRENCH DETAILS

SCALE: NTS

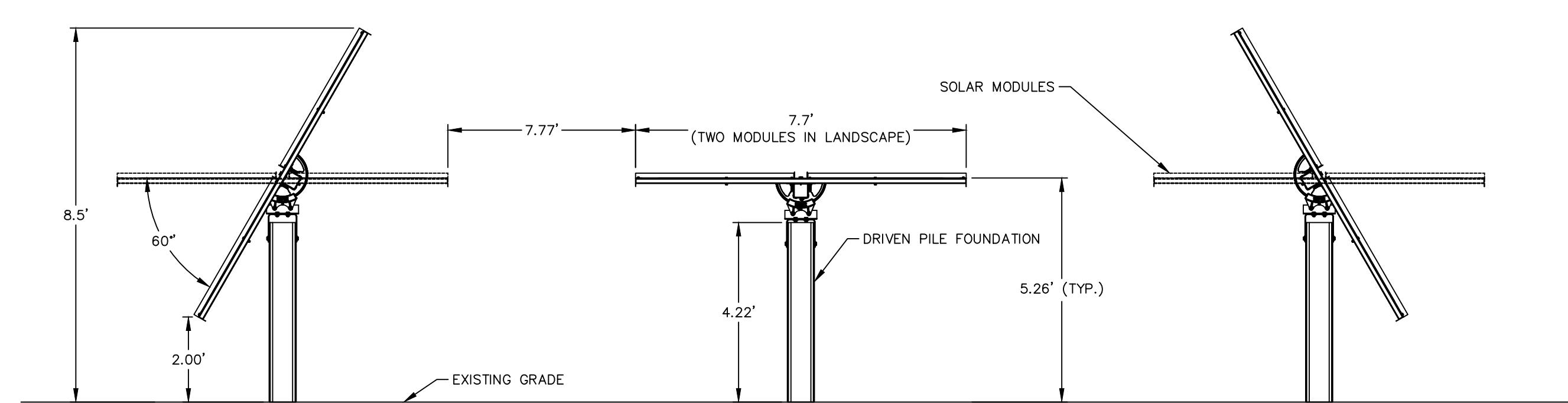


## EQUIPMENT PAD NOTES:

1. ALL ELECTRICAL EQUIPMENT IS TO BE SITUATED ON A CONCRETE PAD AS SHOWN ON THE SITE PLANS.
2. CONCRETE STRENGTH: CLASS B CONCRETE. CONTRACTOR SHALL ALLOW 3 DAYS CURING TIME PRIOR TO INSTALLATION OF EQUIPMENT ON CONCRETE PAD.
3. WELDING FABRIC SHALL CONFORM TO ASTM A185, Fy=65,000 PSI, AND SHALL BE HOT-DIPPED GALVANIZED OR EPOXY COATED AFTER FABRICATION TO PRODUCE A CLASS 2 COATING EQUAL TO THAT SPECIFIED IN ASTM A641, TABLE 1.
4. ANCHOR BOLTS SHALL BE DRILLED AND SET IN FIELD AFTER INSTALLATION ON FOOTING AS PER MANUFACTURER'S SPECIFICATIONS.
5. LOCATION OF ELECTRICAL EQUIPMENT ON CONCRETE PADS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION.
6. COMPACTED STONE SHALL BE NYS DOT TYPE 2 CRUSHED GRAVEL OR APPROVED EQUAL BY THE ENGINEER OF RECORD.
7. ANCHOR BOLTS SHALL BE 3/8" DIA. HILTI HSC ADHESIVE ANCHOR RODS WITH 4-1/2" EMBEDMENT DEPTH OR APPROVED EQUAL.
8. REINFORCEMENT: BARS SHALL CONFORM TO ASTM A615, GRADE 60.
9. LEVELING DIMENSIONS WITH RESPECT TO EQUIPMENT SKID SHOP DRAWINGS AND ADJUST ACCORDINGLY. LOCATE CHASES AND CONDUIT STUB-UPS PER EQUIPMENT SKID SHOP DRAWINGS.
10. CONTROL JOINTS TO BE SPACED EVERY 12' O.C. MAX. EXPANSION JOINTS TO BE SPACED EVERY 25' O.C. MAX.

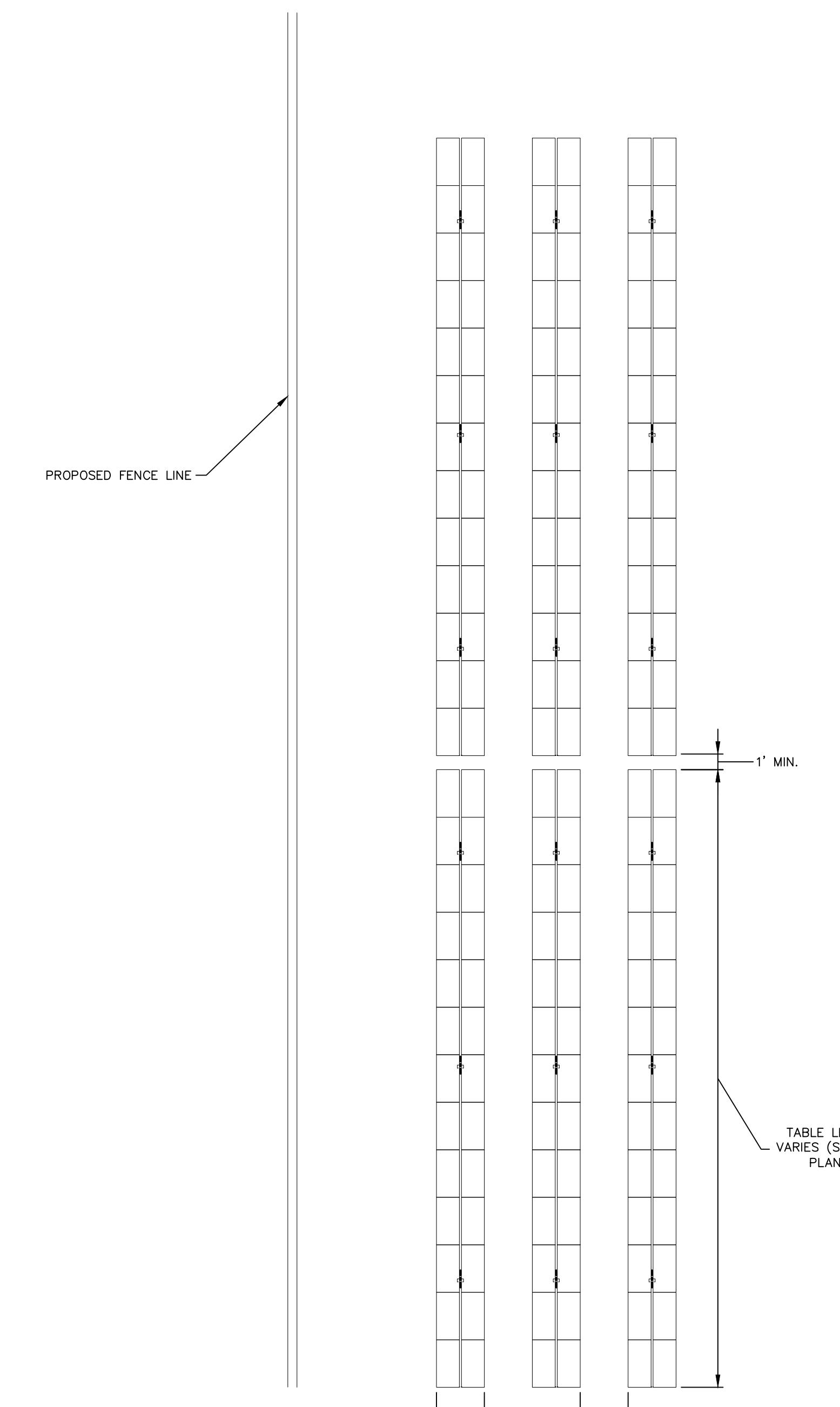
## CONCRETE PAD

SCALE: NTS



## TYPICAL SOLAR ARRAY SIDE PROFILE

SCALE: NTS

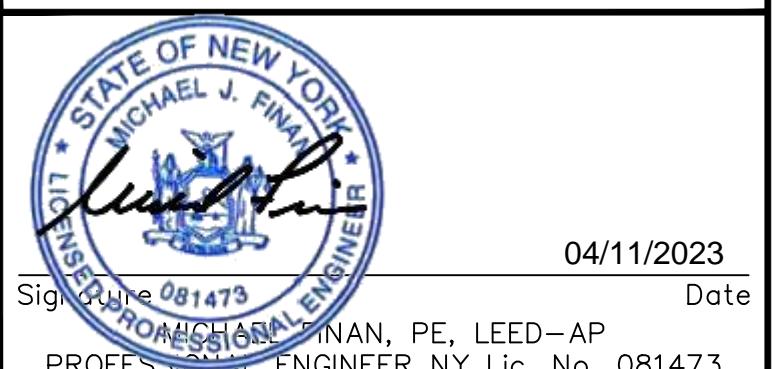


## TYPICAL SITE LAYOUT

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Date	Description	No.
Revisions		

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Project

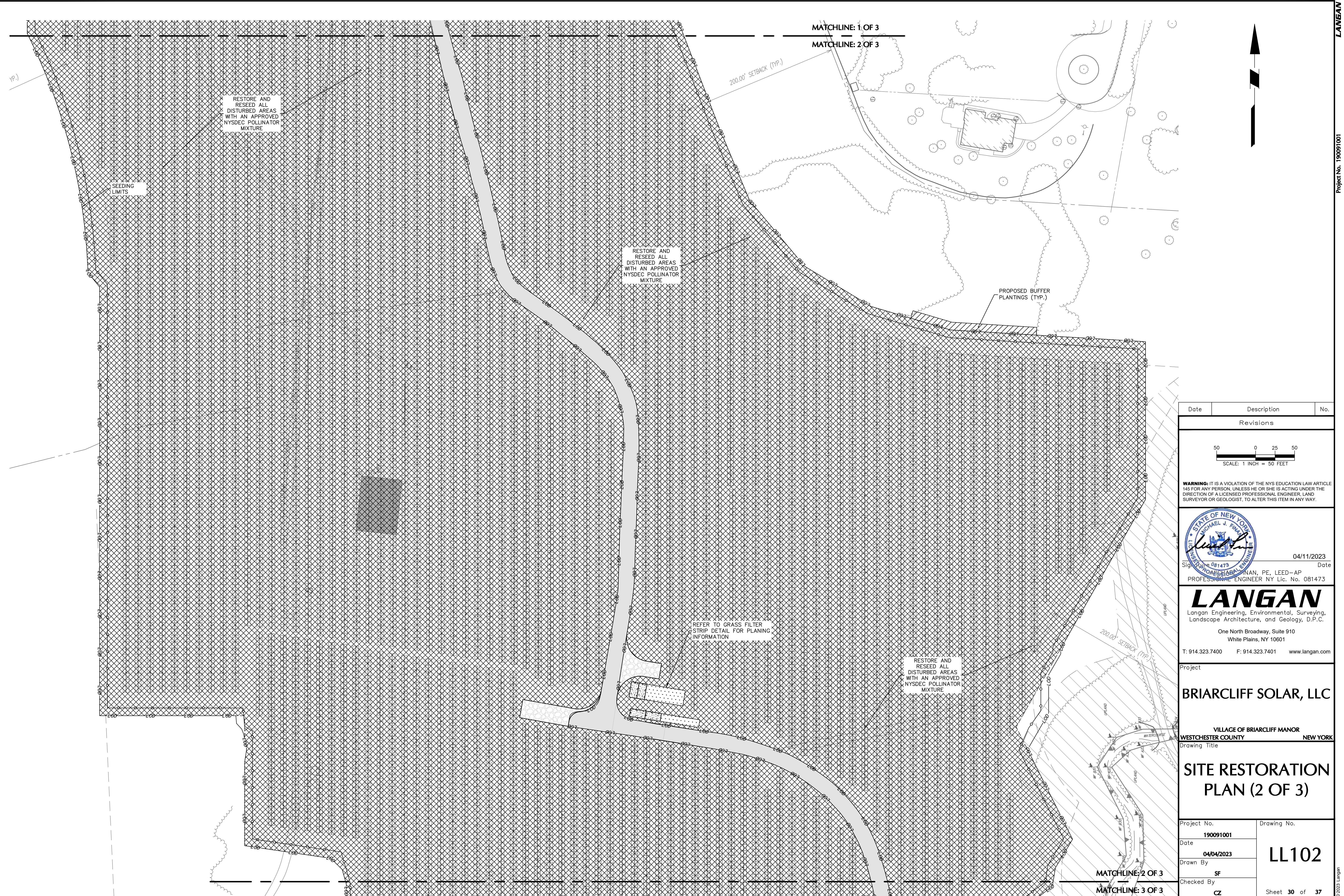
**BRIARCLIFF SOLAR, LLC**

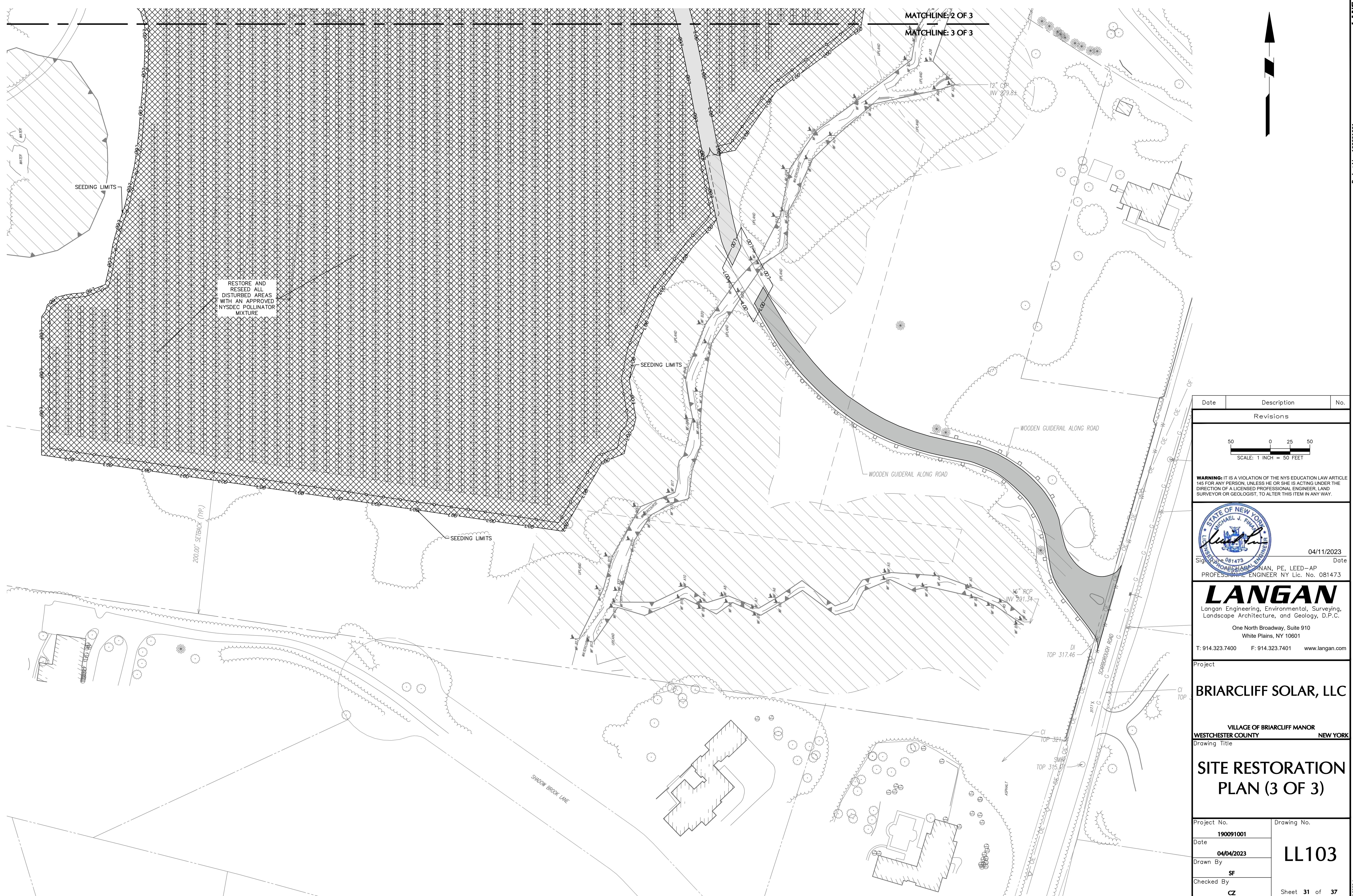
VILLAGE OF BRIARCLIFF MANOR  
WESTCHESTER COUNTY NEW YORK  
Drawing Title

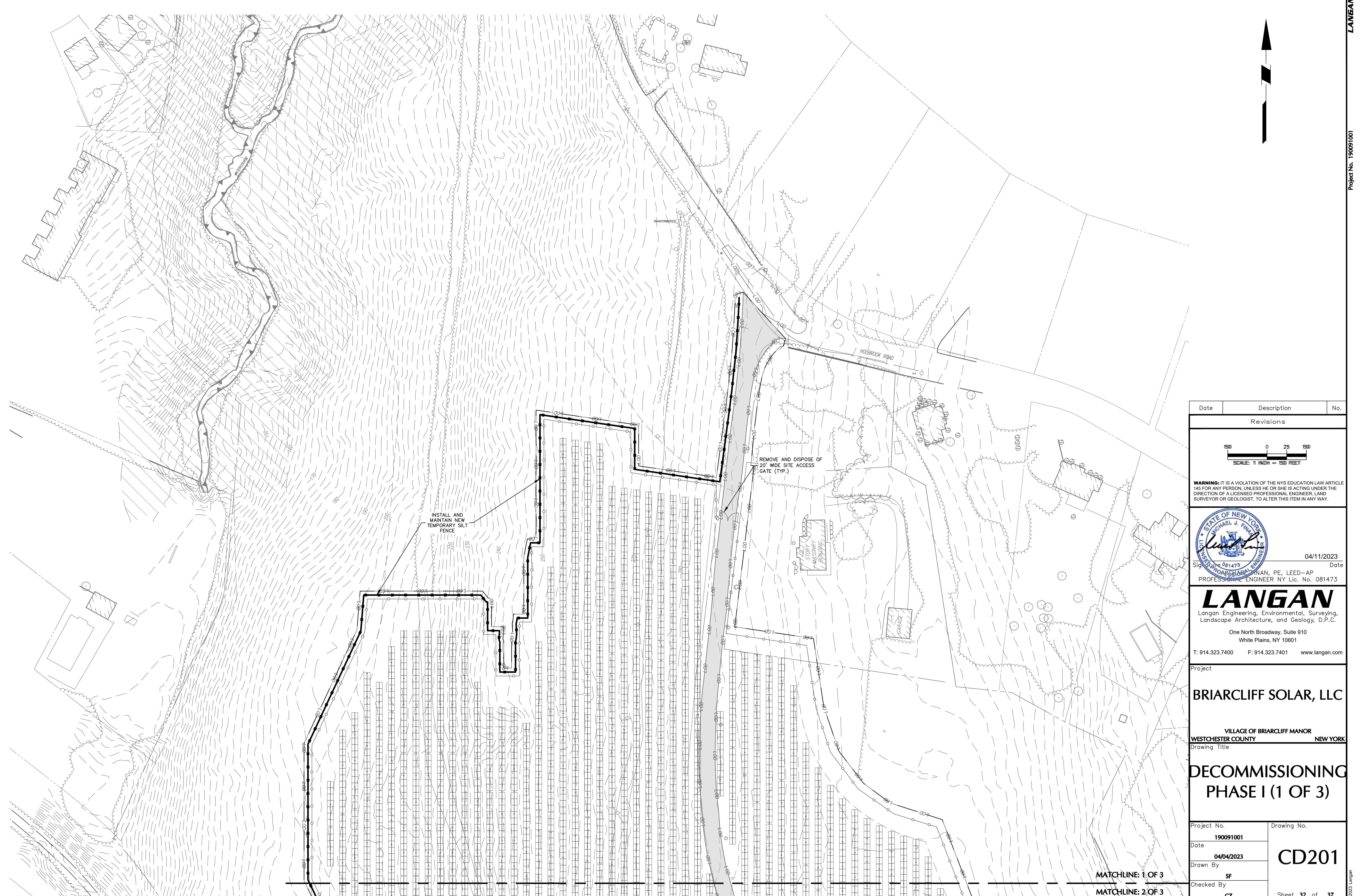
**DETAILS (3 OF 3)**

Project No.	Drawing No.
190091001	
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Drawn By	
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Checked By	
CZ	
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Project No. 190091001

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Revisions		
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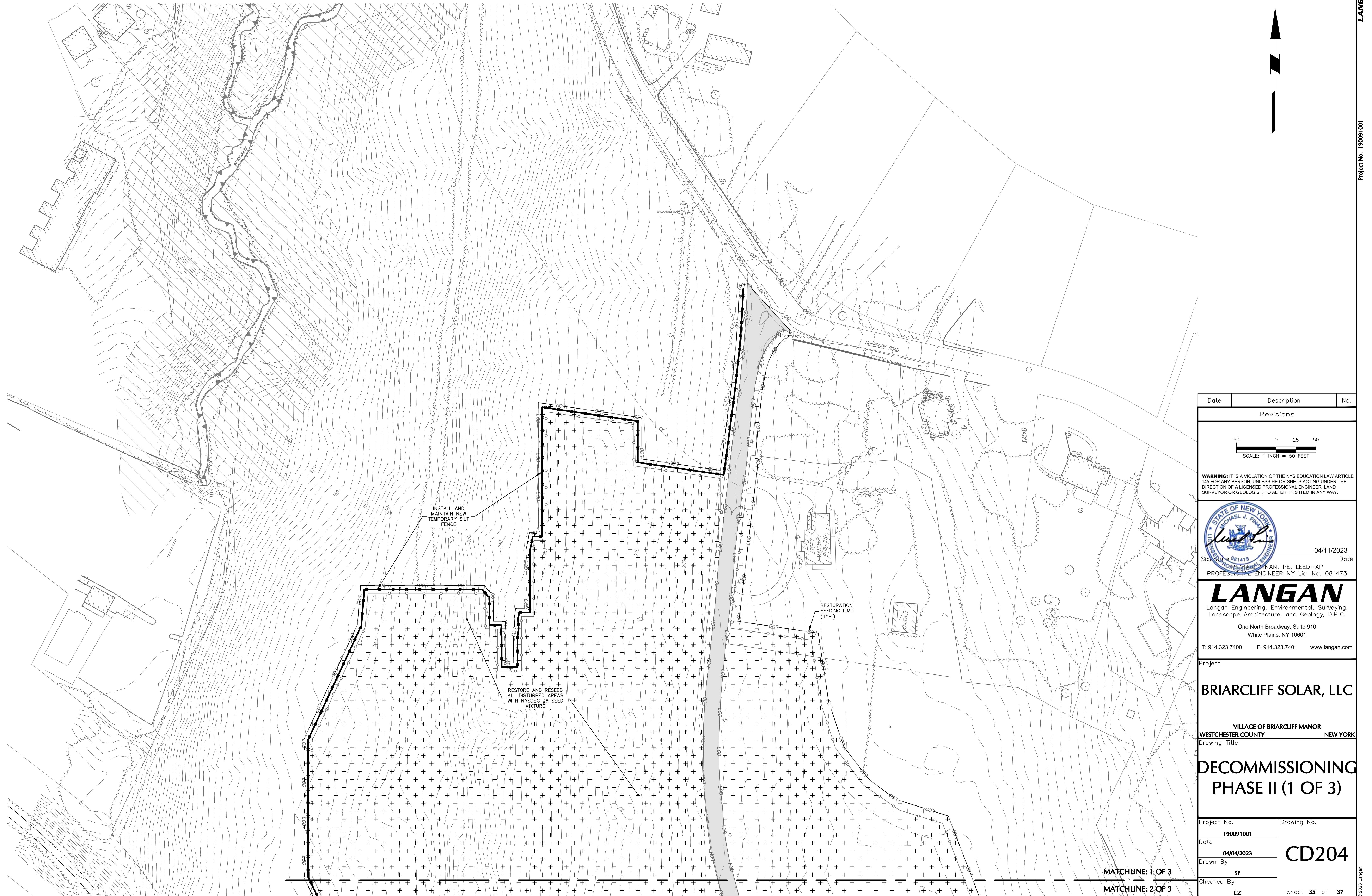
# RIARCLIFF SOLAR, LLC

**VILLAGE OF BRIARCLIFF MANOR  
WESTCHESTER COUNTY NEW YORK**

# RECOMMISSIONING

## PHASE I (3 OF 3)

ect No.  <b>190091001</b>	Drawing No.  <b>CD203</b>
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<b>CZ</b>	Sheet <b>34</b> of <b>37</b>





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Revisions		

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A circular blue ink stamp for the State of New York. The outer ring contains the text "STATE OF NEW YORK" at the top and "PROFESSIONAL ENGINEER" at the bottom. The center of the stamp features a crest with a shield, a sword, and a laurel wreath, with the name "MICHAEL J. FINAN" written across it. A signature of "Michael J. Finan" is written across the center of the stamp. Below the stamp, the license number "081473" is printed. To the right of the stamp, the date "04/11/2023" is written, and below that, the title "Date" is printed.

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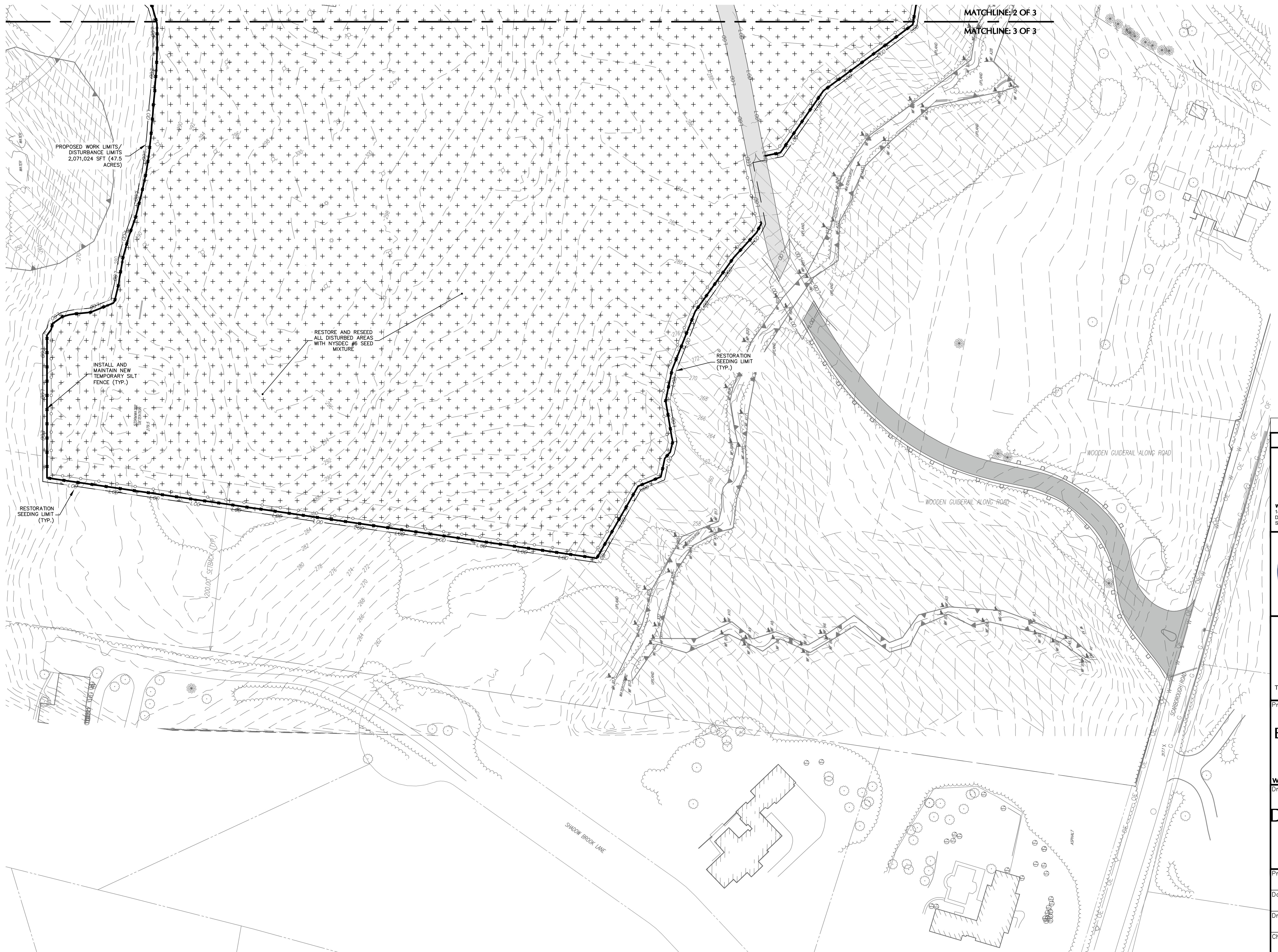
820.7.103 111.67.11.820.7.103 www.kangaroo.com

# MARCLIFF SOLAR, LLC

**VILLAGE OF BRIARCLIFF MANOR  
WESTCHESTER COUNTY NEW YORK**

# COMMISSIONING

Part No.	Drawing No.
<b>190091001</b>	
<b>04/04/2023</b>	
By	<b>CD205</b>
<b>SF</b>	
Entered By	
<b>CZ</b>	Sheet <b>36</b> of <b>37</b>



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Project No. 190091001

Date	Description	No.	
Revisions			
50	0	25	50

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04/11/2023

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# BRIARCLIFF SOLAR, LLC

**VILLAGE OF BRIARCLIFF MANOR**  
**WESTCHESTER COUNTY** **NEW YO**

# DECOMMISSIONING

## PHASE II (3 OF 3)

Project No.	Drawing No.
<b>190091001</b>	
Date	
<b>04/04/2023</b>	
Drawn By	<b>CD206</b>
SF	
Checked By	
CZ	Sheet <b>37</b> of <b>37</b>

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# Preliminary Site Security Plan

for

**Briarcliff Solar  
345 Scarborough Road  
Briarcliff Manor, NY 10510**

*Prepared For:*

**Briarcliff Solar LLC**

*Prepared By:*

**Langan Engineering, Environmental, Surveying,  
Landscape Architecture and Geology, D.P.C.  
One North Broadway, Suite 910  
White Plains, New York 10601**

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**Frank J D'Eufemia  
Professional Engineer License No.090275**

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**Christina Zolezi, PE  
Professional Engineer License No. 087212**

**April 3, 2023  
190091001**

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## **1.0 PURPOSE**

Site security is a fundamental part of operating any electric generation or transmission facility. This Preliminary Site Securing Plan (“Security Plan”) will provide an initial background for the intent of security measures to be implemented upon the permitting and construction of Briarcliff Solar (“Project”). This Security Plan will be revised upon review and discussion between the Project and the local Authority Having Jurisdiction, including emergency services.

The objective of this Security Plan is to outline the continuous safe operation of the Project through implementation of security measures, methods to minimize unauthorized access, and protection against vandalism to the Project facilities.

## **2.0 SCOPE**

Compliance with the Security Plan is the responsibility of all team members as outlined in Section 3 – Responsibilities.

## **3.0 RESPONSIBILITIES**

Compliance with this Security Plan is the responsibility of all parties listed below:

### **3.1 Project Operators**

- Support and ensure compliance with this plan
- Provide the Security Vendor, Employees, Visitors, and the Emergency Services personnel with updated copies of this plan and ensure understanding of all items identified within
- Provide opportunities and encourage periodic review and continuous improvement of this plan

### **3.2 Security Vendor**

- Support and comply with this plan
- Ensure that the plan is maintained and updated periodically with input and review of all parties

### **3.3 Employees and Visitors**

- Support and comply with this plan
- Provide feedback of this plan to ensure continuous improvement

### **3.4 Emergency Services**

- Maintain a copy of this plan with appropriate review by all team members
- Support and comply with this plan
- Provide feedback of this plan to ensure continuous improvement

## **4.0 ACCESS ROADS**

The two access roads to the Project – Scarborough Road and Holbrook Road shall remain gated to restrict access to the general public. The gates will always remain closed except for when entering or exiting the Project. For access by emergency services in the event of an emergency, Knox boxes with gate keys will be provided at each of the Project access roads.

Signage will be installed on the gates and around the perimeter setback along the Old Croton Aqueduct (“OCA”) notifying the public against trespassing and electrical hazards located within the Project. During the routine periodic inspections by the Project operators and the Security Vendor, if it is identified that unauthorized access by the public is occurring, additional site inspections will be initiated along with notifications to the local police.

## **5.0 SECURITY CAMERA SYSTEM**

The Project intends to install a security camera system at each egress, which will be designed to provide coverage only within the Project facility, to deter unauthorized access. The security camera system data is anticipated to be remotely monitored by the contracted Security Vendor. In the case that unauthorized access is identified by remote monitoring, the Security Vendor will initiate contact with the local police department.

## **6.0 SOLAR ARRAY & EQUIPMENT**

The Project will have two sets of perimeter fencing and site intrusion security. While each egress will remain gated, there will be perimeter fencing surrounding the Project facilities on each side of the access road throughout the site. The perimeter fencing on each side of the access road through the site will comprise of National Electric Safety Code (“NESC”) requirements to be seven feet (7') in height and are being considered to have smaller, non-scalable mesh as an additional deterrent against unauthorized public access. Should persistent unauthorized public access occur, additional security measures such as additional security camera installations will be employed.

The Project facilities, including the solar arrays, inverters, and pad mount transformers will be equipped with panels or doors that seal tight/close and are equipped with locks. Each piece of equipment shall remain closed and locked at all times, except while under maintenance.

## **7.0 LIGHTING**

Security lighting will be placed at each access road to deter unauthorized access and provide the Project Operators, Security Vendor, and/or Emergency Services with safe access to the Project through each access road.

In consideration of the neighboring residences, lighting for the solar arrays shall comprise of only safety lighting at each of the access gates to the perimeter fencing. The perimeter fencing lighting shall be equipped with either motion detectors or automatic lighting that will be designed to comply with the lowest tolerance of lighting available.

All Security lighting is to be routinely inspected and maintained by the Project Operators and Security Vendor.

## **8.0 CYBER SECURITY**

Briarcliff Solar will comply with all local, state, and federal operating requirements regarding Cyber Security. All remotely operable and internet connected equipment shall be protected and monitored continuously, 24 hours, 365 day per year.