

CIVIL ENGINEERING & SITE PLANS

LEGEND	
EXISTING CONDITIONS	PROPOSED CONDITIONS
PROPERTY LINE	SILT FENCE
PROPERTY SETBACK	RESTORATION SEEDING LIMIT
ADJACENT PROPERTY LINE	LIMIT OF DISTURBANCE
ZONE LINE	SAWCUT
WETLAND LINE	TREE CLEARING WITH STUMP REMOVAL
100' WETLAND BUFFER	ASPHALT DEMO
WETLAND BUFFER HATCH	EXISTING BUILDING DEMO
WETLAND MARKER	TREE REMOVAL
AQUEDUCT	LIGHT POLE REMOVAL
VEGETATION LIMITS	EXISTING ASPHALT ROAD
TREELINE	RECYCLED ASPHALT MILLINGS
TREE	METAL DOUBLE SWING GATE
CONTOUR	BLACK VINYL COATED CHAIN LINK FENCE
SPOT SHOT	SOLAR ARRAY
ROADWAY	INVERTER PADS
ATHLETIC FIELD LINE	UNDERGROUND ELECTRICAL LINE
BUILDING LINE	CONTOUR
WOODEN GUARDRAIL	FIBER ROLLS
SIGN	CONCRETE WASHOUT
STORMWATER LINE	TOPSOIL STOCKPILE
STORM MANHOLE	VEGETATIVE FILTER STRIP
STORM CATCH BASIN	CONSTRUCTION FENCE
WATER LINE	SEEDING LIMIT
WATER HYDRANT	RESEEDING WITH NYSEDEC #6 SEED MIXTURE EXTENTS
GATE VALVE	RESEEDING WITH POLLINATOR MIXTURE EXTENTS
GAS LINE	PLANTING BUFFER
GAS STRUCTURE	
OVERHEAD ELECTRICAL LINE	
UNDERGROUND ELECTRICAL LINE	
UTILITY POLE	
POWER POLE	
LIGHT POLE	
SEWER LINE	

- ### SURVEY NOTES
1. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY MARKERS AND RIGHT-OF-WAY MARKERS IN THE AREA OF CONSTRUCTION.
 2. ANY IRON PINS, MONUMENT OR OTHER ITEMS DEFINING PROPERTY LINES WHICH ARE DISTURBED BY CONSTRUCTION OPERATIONS SHALL BE PROPERLY TIED AND ACCURATELY RESET BY A NYS LICENSED LAND SURVEYOR UPON COMPLETION OF WORK.
 3. SURVEY INFORMATION SHOWN IN THIS PLAN SET WAS PROVIDED BY BRIARCLIFF SOLAR, LLC.
 4. THE VERTICAL DATUM IS REFERENCED TO NORTH AMERICAN VERTICAL DATUM 88 (NAVD 88).
 5. THE HORIZONTAL DATUM IS REFERENCED TO NORTH AMERICAN DATUM 83 (NAVD 83) – STATE PLAIN NEW YORK WEST.
 6. EXISTING WETLANDS DELINEATED BY ECOLOGICAL SOLUTIONS, LLC ON 08/24/2017.
 7. PARCEL LINES AS SHOWN BY WESTCHESTER COUNTY GIS DATABASE FOR THE VILLAGE OF BRIARCLIFF MANOR.

- ### GENERAL SITE NOTES
1. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK OR CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
 2. THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKE NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS; CORRELATE CONDITIONS WITH THE DRAWINGS; AND, RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS IF HE/SHE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
 3. THE CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUEST FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
 4. INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
 5. THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
 6. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.

- ### DEMOLITION NOTES
1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BID. NO ALLOWANCE WILL BE MADE FOR ADDITIONAL COSTS DUE TO CONTRACTOR'S FAILURE TO VERIFY EXISTING CONDITIONS AND DIMENSIONS.
 2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY DIG SAFE NEW YORK AT 811 TO REQUEST UTILITY STAKEOUT OF ALL PUBLIC UTILITIES.
 3. THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING ABOVE GROUND AND BELOW GROUND UTILITIES, STRUCTURES, AND APPURTENANCES SHOWN ON THE PLANS ARE APPROXIMATE AND ARE NOT GUARANTEED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES, STRUCTURES, AND APPURTENANCES IN THE PATH OF AND ADJACENT TO THE PROPOSED WORK.
 4. SITE DRAINAGE, INCLUDING THE PROJECT SITE AND ADJACENT PRIVATE AND PUBLIC ROADWAYS, DRIVES, PARKING AREAS OR PROPERTIES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 5. CONTRACTOR SHALL PROTECT AND SUPPORT ALL EXISTING UTILITIES DESIGNATED TO REMAIN FOR THE DURATION OF THE CONTRACT.
 6. THE CONTRACTOR SHALL NOTIFY THE LOCAL GOVERNMENT, LOCAL FIRE DEPARTMENT AND THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSEDEC) AS NECESSARY AND SHALL OBTAIN ANY REQUIRED PERMITS PRIOR TO BEGINNING WORK. COPIES OF ANY REQUIRED PERMITS SHALL BE PROVIDED TO THE OWNER PRIOR TO BEGINNING THE WORK.
 7. CONTRACTOR SHALL REMOVE FROM SITE, MATERIALS NOT INDICATED TO BE SALVAGED INCLUDING ALL DEBRIS. ALL REMOVED MATERIALS SHALL BECOME THE PROPERTY OF CONTRACTOR WHO SHALL LEGALLY DISPOSE OF SAME.
 8. ALL TREES, SHRUBS AND PLANTS DESIGNATED TO REMAIN AND DISTURBED BY CONSTRUCTION OPERATIONS, SHALL BE REPLACED IN-KIND AS DIRECTED BY THE ARCHITECT/ENGINEER AND/OR OWNER'S DESIGNATED REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
 9. WHEN EXISTING CONSTRUCTION WHICH IS TO REMAIN IS DAMAGED DURING THE COURSE OF CONSTRUCTION AS A RESULT OF CONTRACTORS WORK, IT SHALL BE REPAIRED AND/OR REPLACED WITH SIMILAR OR LIKE MATERIALS AS MUCH AS POSSIBLE, AT NO COST TO THE OWNER. ALL REPAIRS AND/OR REPLACEMENTS WILL BE SUBJECT TO OWNERS APPROVAL.
 10. COORDINATE LOCATION OF TEMPORARY CONSTRUCTION FENCE AND MATERIAL STAGING AREAS WITH OWNER.
 11. ALL PRIVATE HYDRANTS SHALL BE INSPECTED AND TESTED FOR PROPER OPERATION AND FLOW. ALL HYDRANTS MUST HAVE "STORZ" CONNECTOR ADAPTERS INSTALLED ON THE STEAMERS. HYDRANTS MUST BE PAINTED AND REFLECTORIZED LOCATING POLES INSTALLED ON THE EARS OR BONNET.
 12. THE EXISTING DOMESTIC WATER SERVICE LINE AND SEWER LATERAL SHALL BE CUT AND CAPPED AT THE RESPECTIVE MAINS IN HOLBROOK ROAD AND THE ROADWAY RESTORED TO ITS ORIGINAL CONDITION.
 13. THE EXISTING SEWER LATERAL WILL BE CUT AND CAPPED AT THE SEWER MAIN IN CHARTER CIRCLE AND IS NOT PROPOSED FOR FUTURE USE.
 14. A UTILITY EASEMENT WILL BE PROVIDED TO THE OWNERS AND RECORDED ONCE THE PROPOSED SEWER LINE HAS BEEN APPROVED BY THE REGULATING AUTHORITY.
 15. THE EXISTING ACCESS ROAD IS PAVED AND PROPOSED TO REMAIN, THEREFORE, THE EXISTING ACCESS ROAD IS OMITTED FROM THE LIMIT OF DISTURBANCE CALCULATION.

SOIL RESTORATION NOTES

TYPE OF SOIL DISTURBANCE (E.G., CLEARING AND GRUBBING ACTIVITIES)	SOIL RESTORATION REQUIREMENT
MINIMAL SOIL DISTURBANCE (E.G., CLEARING AND GRUBBING ACTIVITIES)	RESTORATION NOT REQUIRED
AREAS WHERE TOPSOIL IS STRIPPED ONLY (E.G., NO CHANGE IN GRADE)	AERATE AND APPLY 6" OF TOPSOIL*
AREAS OF CUT OR FILL	APPLY FULL SOIL RESTORATION*
HEAVY TRAFFIC AREAS ON-SITE (ESPECIALLY IN 5 FEET TO 25 FEET AROUND BUILDINGS, BUT NOT WITHIN A 5 FOOT PERMETER AROUND FOUNDATION WALLS)	APPLY FULL SOIL RESTORATION AS INDICATED BELOW
AREAS WHERE RUNOFF REDUCTION OR INFILTRATION PRACTICES ARE APPLIED	RESTORATION CAN BE APPLIED TO ENHANCE RUNOFF REDUCTION BUT NOT REQUIRED
REDEVELOPMENT PROJECTS	SOIL RESTORATION IS REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE EXISTING IMPERVIOUS AREA WILL BE CONVERTED TO PVIOUS AREA.

- FULL SOIL RESTORATION:**
- BEFORE APPLYING FULL SOIL RESTORATION, ALL CONSTRUCTION ACTIVITY, INCLUDING CONSTRUCTION EQUIPMENT AND MATERIAL STORAGE, SITE CLEANUP AND TRAFFICKING, SHOULD BE FINISHED AND THE SITE CLOSED TO FURTHER DISTURBANCE. FULL SOIL RESTORATION IS IMPLEMENTED IN A TWO-PHASE PROCESS.
1. DEEP RIP THE AFFECTED THICKNESS OF EXPOSED SUBSOIL MATERIAL, AGGRESSIVELY FRACTURING IT BEFORE THE PROTECTED TOPSOIL IS REAPPLIED ON THE SITE.
 2. DECOMPACT, SIMULTANEOUSLY THROUGH THE RESTORED TOPSOIL LAYER AND UPPER HALF OF THE AFFECTED SUBSOIL.
- LOW SUBSOIL MOISTURE:**
- THE DISTURBED SOILS ARE RETURNED TO ROUGH GRADE AND THE FOLLOWING IS APPLIED:
1. TILL 3 INCHES OF COMPOST OVER THE SUBSOIL.
 2. APPLY COMPOST A MINIMUM OF 12 INCHES INTO THE SUBSOIL USING A CAT-MOUNTED RIPPER, TRACTOR-MOUNTED DISC, OR TILLER MIXING AND CIRCULATING AIR AND TRAFFICKING INTO SUBSOILS.
 3. ROCK-PICK UNTIL UPLIFTED STONE/ROCK MATERIALS OF 4 INCHES OR LARGER SIZE ARE CLEANEED OFF THE SITE. ALL CONSTRUCTION/FOREIGN DEBRIS AND EXISTING ROOT MASSES SHALL BE REMOVED FROM PROPOSED PLANTING AREAS.
 4. APPLY 6 INCHES OF TOPSOIL. NEWLY INSTALLED PLANTING SOILS SHALL BE MIXED WITH EXISTING SOILS WHERE THEY MEET IN ORDER TO CREATE A TRANSITIONAL GRADIENT TO ALLOW FOR PROPER DRAINAGE.
 5. INSTALL PLANTS AND VEGETATION IN ACCORDANCE WITH THE LANDSCAPING PLAN.

- ### UTILITY NOTES
1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.
 2. THE LOCATION OF EXISTING ELECTRIC LINES ARE APPROXIMATE. THE CONTRACTOR MUST CONSULT THE LOCAL UTILITY COMPANIES FOR ADDITIONAL INFORMATION. ALL PROPOSED ELECTRICAL WORK, TRANSFORMER PADS, AND ASSOCIATED APPURTENANCES WILL BE IN CONFORMANCE WITH APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL GUIDELINES AND REQUIREMENTS.
 3. MIN. DEPTH OF COVER OVER ELECTRIC SERVICES SHALL BE TWO (2) FT.

- ### GRADING NOTES
1. THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF OSHA, AND ANY OTHER AGENCY HAVING JURISDICTION WITH REGARD TO SAFETY PRECAUTIONS WITH TRENCHING OPERATIONS. THE REQUIREMENTS SET FORTH HEREIN ARE INTENDED TO SUPPLEMENT REQUIREMENTS ESTABLISHED BY THESE AGENCIES. IN THE CASE OF A CONFLICT BETWEEN REQUIREMENTS OF OTHER JURISDICTIONAL AGENCIES AND THESE DOCUMENTS, THE MORE STRINGENT REQUIREMENT ON THE CONTRACTOR SHALL APPLY.
 2. SHEETING, IF REQUIRED DURING CONSTRUCTION, IS CONSIDERED TO BE PART OF THIS CONTRACT AND SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
 3. ALL TRENCHES THROUGH PAVEMENT SHALL BE SAW CUT PRIOR TO EXCAVATION AND AGAIN PRIOR TO PAVEMENT RESTORATION.
 4. CONTRACTOR SHALL ADJUST THE RIMS OF ALL MANHOLES, CATCH BASINS, VALVE BOXES AND OTHER UTILITY SITE STRUCTURES TO MEET FINISHED GRADE IN AREAS REQUIRING REPAVING OR REGRADED AS PART OF THE WORK, INCLUDING THOSE THAT MAY NOT BE SHOWN ON THE PLANS.
 5. VOIDS LEFT BY UTILITY OR STRUCTURE REMOVAL OR GRUBBING OPERATIONS SHALL BE BACKFILLED AND PROPERLY COMPACTED WITH STRUCTURAL FILL (NYSDOT ITEM 304.12) IN AREAS UNDER AND WITHIN 5 FEET HORIZONTALLY OF ALL STRUCTURES, BUILDINGS AND PAVEMENTS. IN GRASSED AREAS, VOIDS LEFT SHALL BE FILLED AND PROPERLY COMPACTED WITH SUITABLE ON-SITE OR IMPORTED EARTHEN BACKFILL. ALL DISTURBED AREAS SHALL BE RESTORED.
 6. THE CONTRACTOR SHALL DEWATER ALL EXCAVATIONS TO PREVENT THE INTRODUCTION OF GROUNDWATER INTO THE TRENCHES/EXCAVATIONS. PROVIDE ALL EQUIPMENT NECESSARY TO MAINTAIN THE GROUNDWATER LEVEL AS NECESSARY.
 7. THE CONTRACTOR SHALL PLACE AT MINIMUM 6 INCHES OF CLEANED SCREENED TOPSOIL IN ALL DISTURBED AREAS PRIOR TO SEEDING.

- ### POLLUTION PREVENTION CONTROL NOTES
- GOOD HOUSEKEEPING PRACTICES ARE DESIGNED TO MAINTAIN A CLEAN AND ORDERLY WORK ENVIRONMENT. GOOD HOUSEKEEPING MEASURES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS BY THOSE PARTIES INVOLVED WITH THE DIRECT CARE AND DEVELOPMENT OF THE SITE. THE FOLLOWING MEASURES SHOULD BE IMPLEMENTED TO CONTROL THE POSSIBLE EXPOSURE OF HARMFUL SUBSTANCES AND MATERIALS TO STORMWATER RUNOFF:
1. MATERIAL RESULTING FROM THE CLEARING AND GRUBBING OPERATION MUST BE STOCKPILED AWAY FROM STORM DRAINAGE, WATER BODIES AND/OR WATERCOURSES AND SURROUNDED WITH ADEQUATE EROSION AND SEDIMENT CONTROL MEASURES. SOIL STOCKPILE LOCATIONS MUST BE EXPOSED NO LONGER THAN 14 DAYS BEFORE SEEDING.
 2. EQUIPMENT MAINTENANCE AREAS MUST BE PROTECTED FROM STORMWATER FLOWS AND MUST BE SUPPLIED WITH APPROPRIATE WASTE RECEPTACLES FOR SPENT CHEMICALS, SOLVENTS, OILS, GREASES, GASOLINE, AND ANY POLLUTANTS THAT MIGHT CONTAMINATE THE SURROUNDING HABITAT AND/OR WATER SUPPLY. EQUIPMENT WASH-DOWN ZONES MUST BE LOCATED WITHIN AREAS DRAINING TO SEDIMENT CONTROL DEVICES.
 3. THE USE OF DETERGENTS FOR LARGE-SCALE (I.E., VEHICLES, BUILDINGS, PAVEMENT SURFACES, ETC) WASHING IS PROHIBITED.
 4. MATERIAL STORAGE LOCATIONS AND FACILITIES (I.E., COVERED STORAGE AREAS, STORAGE SHEDS, ETC) MUST BE LOCATED ON-SITE AND MUST BE STORED ACCORDING TO THE MANUFACTURER'S STANDARDS IN A DEDICATED STAGING AREA. CHEMICALS, PAINTS, SOLVENTS, FERTILIZERS, AND OTHER TOXIC MATERIAL MUST BE STORED IN WATERPROOF CONTAINERS. RUMKOP CONTAINING SUCH MATERIALS MUST BE COLLECTED, REMOVED FROM THE SITE, TREATED AND DISPOSED AT AN APPROVED SOLID WASTE OR CHEMICAL DISPOSAL FACILITY.
 5. HAZARDOUS SPILLS MUST BE IMMEDIATELY CONTAINED TO PREVENT SUCH POLLUTANTS FROM ENTERING THE SURROUNDING HABITAT AND/OR WATER SUPPLY. SPILL KITS MUST BE PROVIDED ON-SITE AND MUST BE DISPLAYED IN A PROMINENT LOCATION FOR EASE OF ACCESS AND USE. SPILLS GREATER THAN FIVE (5) GALLONS MUST BE REPORTED TO THE NYSEDC RESPONSE UNIT AT 1-800-457-7362. IN ADDITION, A RECORD OF THE INCIDENT(S) AND/OR NOTIFICATIONS MUST BE DOCUMENTED AND ATTACHED TO THE SWPPP.
 6. PORTABLE SANITARY WASTE FACILITIES MUST BE PROVIDED ON-SITE FOR WORKERS AND MUST BE PROPERLY MAINTAINED.
 7. DUMPSTERS AND/OR DEBRIS CONTAINERS MUST BE LOCATED ON-SITE AND MUST BE OF ADEQUATE SIZE TO MANAGE RESPECTIVE MATERIALS. REGULAR COLLECTION AND DISPOSAL OF WASTES MUST OCCUR AS REQUIRED.
 8. TEMPORARY CONCRETE WASHOUT FACILITIES SHOULD BE LOCATED A MINIMUM OF 50 FEET FROM STORM DRAIN INLETS, OPEN DRAINAGE FACILITIES, AND WATERCOURSES. EACH FACILITY SHOULD BE LOCATED AWAY FROM CONSTRUCTION TRAFFIC OR ACCESS AREAS TO PREVENT DISTURBANCE OR TRACKING. A SIGN SHOULD BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY TO INFORM CONCRETE EQUIPMENT OPERATORS TO UTILIZE THE PROPER FACILITIES. WHEN TEMPORARY CONCRETE WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR THE WORK, THE HARDENED CONCRETE MUST BE REMOVED AND DISPOSED OF. MATERIALS USED TO CONSTRUCT THE TEMPORARY CONCRETE WASHOUT FACILITIES MUST BE REMOVED AND DISPOSED OF. HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES MUST BE BACKFILLED AND/OR REPAIRED, SEEDED, AND MULCHED FOR FINAL STABILIZATION.
 9. NON-STORMWATER COMPONENTS OF SITE DISCHARGE MUST BE CLEAN WATER. WATER USED FOR CONSTRUCTION, WHICH DISCHARGES FROM THE SITE, MUST ORIGINATE FROM A PUBLIC WATER SUPPLY OR PRIVATE WELL APPROVED BY THE HEALTH DEPARTMENT. WATER USED FOR CONSTRUCTION THAT DOES NOT ORIGINATE FROM AN APPROVED PUBLIC SUPPLY MUST BE DISPOSED OF AWAY FROM THE SITE. IT CAN BE RETAINED IN THE PONDS UNTIL IT INFILTRATES AND EVAPORATES.

EROSION AND SEDIMENT CONTROL NOTES

1. REFER TO THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSEDEC) SPDES GENERAL PERMIT IN APPENDIX A OF THE STORMWATER POLLUTION PREVENTION PLAN FOR ADDITIONAL REQUIREMENTS.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED IN ACCORDANCE WITH "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL," LATEST EDITION.
3. BEFORE BEGINNING CONSTRUCTION, THE OWNER MUST SET UP A PRE-CONSTRUCTION MEETING WITH THE QUALIFIED PROFESSIONAL, QUALIFIED INSPECTOR, CONTRACTORS, AND SUBCONTRACTORS TO DISCUSS THE RESPONSIBILITIES RELATED TO THE STORMWATER POLLUTION PREVENTION PLAN IMPLEMENTATION.
4. THE CONTRACTOR AND SUBCONTRACTOR MUST IDENTIFY THE TRAINED INDIVIDUAL THAT WILL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF THE EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
5. BEFORE BEGINNING CONSTRUCTION, ALL EROSION AND SEDIMENT CONTROLS MUST BE INSTALLED IN ACCORDANCE WITH THE PLANS. SITE PREPARATION ACTIVITIES MUST BE PLANNED TO MINIMIZE THE SCOPE AND DURATION OF SOIL DISTURBANCE. EXISTING VEGETATION TO REMAIN MUST BE PROTECTED TO ENSURE OVER CLEARING DOES NOT OCCUR.
6. PERMANENT TRAFFIC CORRIDORS MUST BE ESTABLISHED AND "ROUTES OF CONVENIENCE" MUST BE AVOIDED. STABILIZED CONSTRUCTION ENTRANCES MUST BE INSTALLED AT THE LOCATIONS SHOWN ON THE PROJECT PLANS.
7. STOCKPILED TOPSOIL MUST BE ENCLOSED WITH SILT FENCE OR HAY BALES AND COVERED OR TEMPORARILY SEEDED. ALL GRASS SEED MUST CONTAIN AT LEAST 25% RAPID GERMINATING PERENNIAL RYE GRASS.
8. DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION MUST BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
9. DUST MUST BE CONTROLLED BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED.
10. ERODIVE MATERIAL TEMPORARILY STOCKPILED ON SITE DURING CONSTRUCTION MUST BE LOCATED IN AN AREA AWAY FROM STORM DRAINAGE AND MUST BE PROPERLY PROTECTED BY A SILT FENCE BARRIER.
11. EARTHWORK ACTIVITIES MUST BE CONSISTENT WITH THE PHASING PLANS. THE EARTHWORK OPERATION AREAS MUST BE STABILIZED ON AN ONGOING BASIS WITH NO AREAS THAT ARE NOT CURRENTLY UNDER CONSTRUCTION LEFT WITHOUT AT LEAST TEMPORARY COVER FOR MORE THAN 14 DAYS.
12. EROSION AND SEDIMENT CONTROL INSPECTIONS:
 - A. THE TRAINED INDIVIDUAL MUST INSPECT ALL EROSION AND SEDIMENT CONTROL MEASURES ON A DAILY BASIS TO ENSURE PROPER PERFORMANCE. ANY SEDIMENT BUILD-UP MUST BE CLEANED AND REMOVED. ALL DAMAGES TO EROSION AND SEDIMENT CONTROLS MUST BE REPAIRED AT THE END OF THE WORK DAY.
 - B. THE QUALIFIED INSPECTOR MUST CONDUCT SITE INSPECTIONS EVERY 7 DAYS. ANY DEFICIENCIES NOTED IN THE REPORTS MUST BE CORRECTED IMMEDIATELY BY THE CONTRACTOR.
 - C. IF SOIL DISTURBANCE ACTIVITIES ARE SUSPENDED FOR WINTER SHUTDOWN, TEMPORARY STABILIZATION MEASURES WILL BE APPLIED TO ALL DISTURBED AREAS. IF APPROVED BY THE NYSEDC OR MS4 MUNICIPALITY, THE FREQUENCY OF INSPECTIONS BY THE QUALIFIED INSPECTOR MAY BE REDUCED TO ONE INSPECTION EVERY 30 DAYS.
 - D. IF AUTHORIZED BY THE NYSEDC OR MS4 MUNICIPALITY TO DISTURB MORE THAN 5 ACRES AT ONE TIME, THE QUALIFIED INSPECTOR MUST CONDUCT AT LEAST 2 SITE INSPECTIONS, SEPARATED BY 2 DAYS, EVERY 7 DAYS UNTIL SUCH TIME THAT LESS THAN 5 ACRES OF SOIL REMAIN EXPOSED.
13. TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST BE REMOVED WHEN ALL DISTURBED AREAS HAVE UNDERGONE FINAL STABILIZATION. WHEN UPGRADE SURFACES ARE PROPERLY STABILIZED AND ALL STORMWATER MANAGEMENT SYSTEMS ARE IN PLACE AND OPERATIONAL, ALL AREAS DISTURBED BY THE REMOVAL OF THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES MUST BE FILLED IN, TOPSOILED, SEEDED, AND MULCHED. FINAL STABILIZATION IS ACHIEVED WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 80% IS ESTABLISHED, OR EQUIVALENT STABILIZATION MEASURES, SUCH AS PLACEMENT OF MULCH OR GEOTEXTILE, IS COMPLETED ON ALL AREAS NOT PAVED OR COVERED BY PERMANENT STRUCTURES.

WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.



04/11/2023
Date
Signature: Michael J. Finnegan, PE, LEED-AP
Professional Engineer NY Lic. No. 081473

LANGAN

Langan Engineering, Environmental, Surveying,
Landscape Architecture, and Geology, D.P.C.

One North Broadway, Suite 910
White Plains, NY 10601

T: 914.323.7400 F: 914.323.7401 www.langan.com

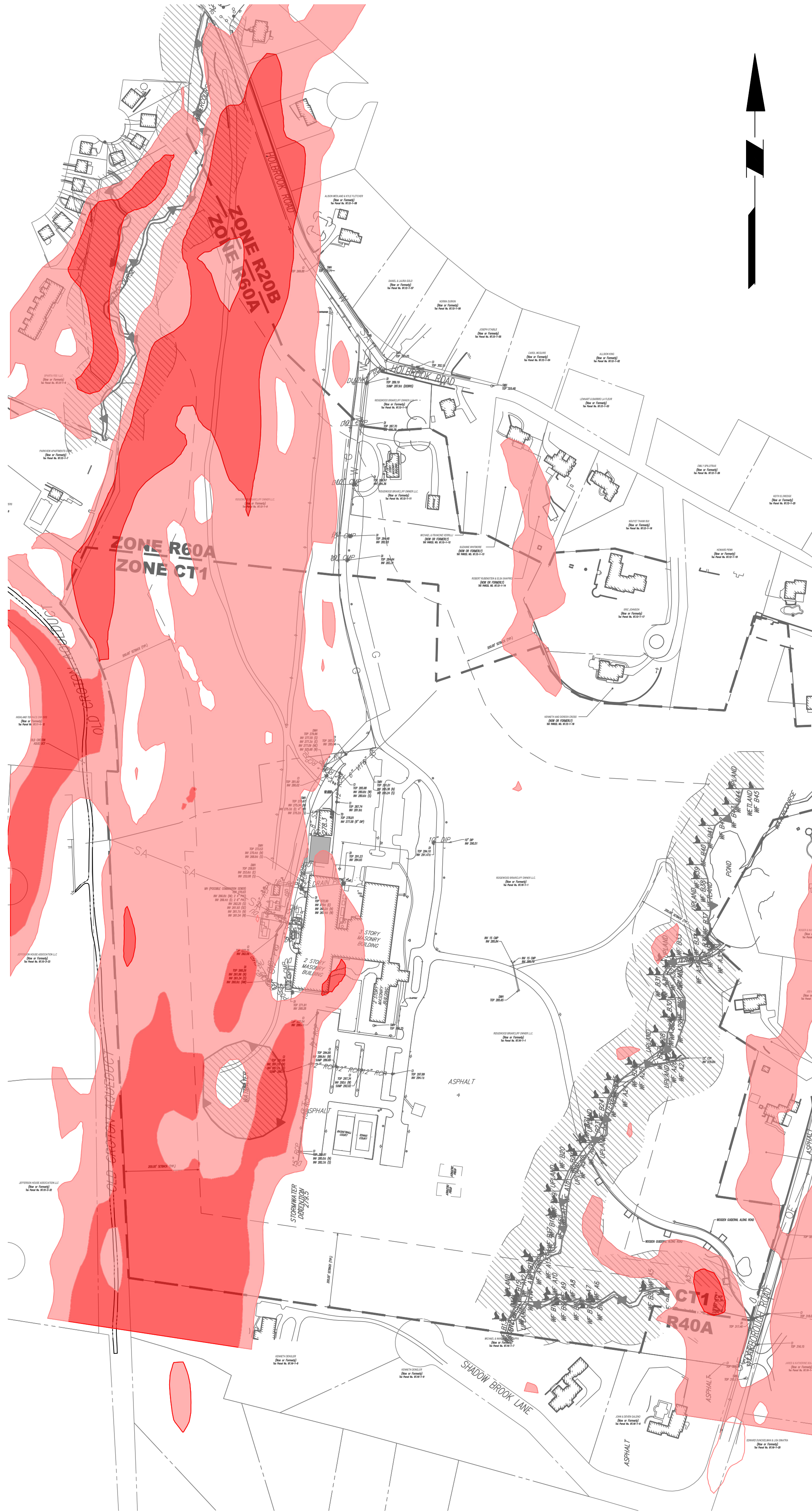
Project

BRIARCLIFF SOLAR, LLC

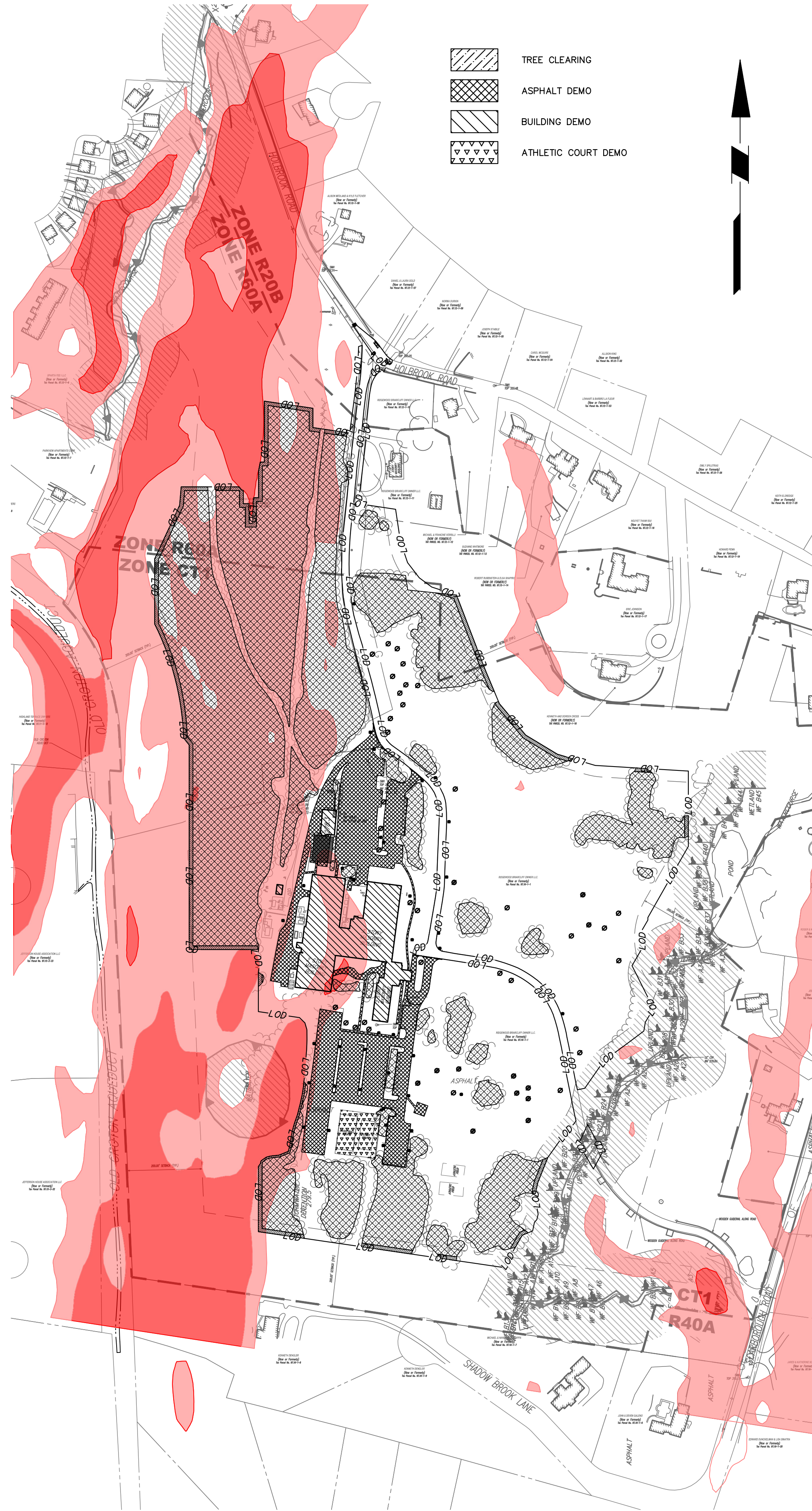
VILLAGE OF BRIARCLIFF MANOR
WESTCHESTER COUNTY NEW YORK
Drawing Title

NOTES & LEGEND

Project No.	Drawing No.
190091001	C001
Date	
04/04/2023	
Drawn By	
Checked By	SF
CZ	Sheet 2 of 37



EXISTING CONDITIONS SLOPE MAP
SCALE 1" = 200'



PROPOSED DEMOLITION SLOPE MAP
SCALE 1" = 200'

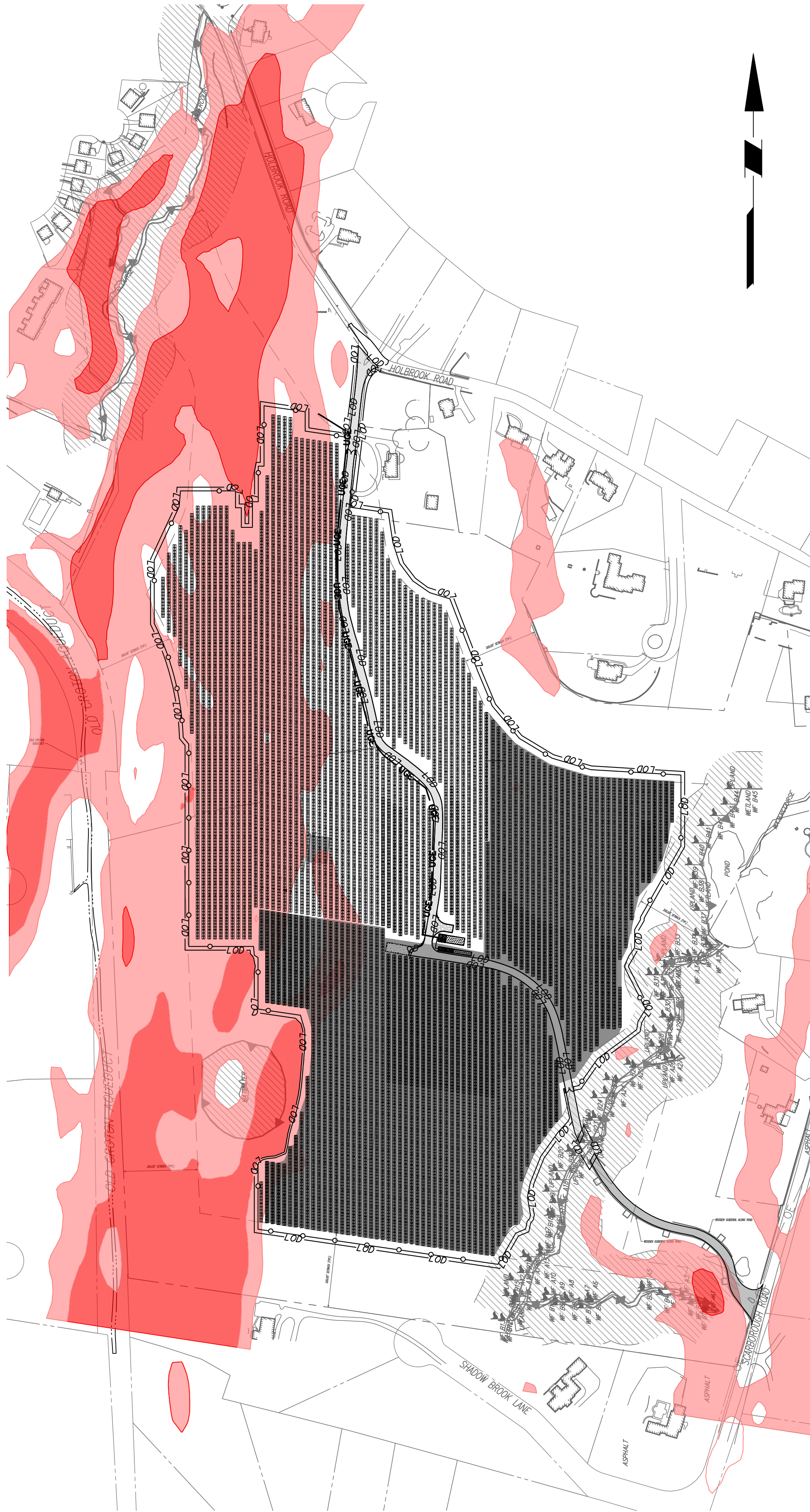
- TREE CLEARING
ASPHALT DEMO
BUILDING DEMO
ATHLETIC COURT DEMO

STEEP SLOPES LEGEND

SLOPE RANGE	PARCEL AREA	PERCENT OF PARCEL	PROJECT AREA	PERCENT OF PROJECT	PROJECT PARCEL COVERAGE
0 - 15%	58.40 AC	60.20 %	31.54 AC	72.01 %	32.50 %
15 - 25 %	26.24 AC	27.04 %	12.25 AC	27.97 %	12.62 %
>25%	12.40 AC	12.76 %	0.01 AC	0.02 %	0.01 %
TOTALS:	97.04 AC	100 %	43.80 AC	100 %	45.13 %

- NOTES
- "PARCEL AREA" CONSIDERS THE ACREAGE OF THE FOUR CONTIGUOUS PARCELS OWNED BY THE APPLICANT.
 - "PERCENT OF PARCEL" REFERS TO THE PERCENTAGE OF THE APPLICANTS HOLDINGS FALLING WITHIN THE DESIGNATED SLOPE RANGE.
 - "PROJECT AREA" REFERS TO THE ACREAGE OF THE PROPOSED PROJECT FALLING WITHIN THE DESIGNATED SLOPE RANGE.
 - "PERCENT OF PROJECT" REFERS TO THE PERCENTAGE OF THE PROPOSED PROJECT FALLING WITHIN THE DESIGNATED SLOPE RANGE.
 - "PROJECT PARCEL COVERAGE" REFERS TO THE PERCENTAGE OF LAND CONTAINING THE PROPOSED PROJECT AS COMPARED TO THE FOUR CONTIGUOUS PARCELS OWNED BY THE APPLICANT.
 - STEEP SLOPE DATA SOURCE: WESTCHESTER COUNTY GIS.
 - PROPOSED DISTURBANCE OF >25% SLOPE AREA IS RELATED TO THE INSTALLATION OF FENCE POSTS. TREES WITHIN THE >25% SLOPE AREA WILL ONLY BE CUT AND THE STUMPS WILL REMAIN. PROPOSED SOLAR RACKS ARE LOCATED OUTSIDE OF THE >25% SLOPE AREAS TO REMAIN.

Date	Description	No.
Revisions		
<p>WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.</p>		
		04/11/2023
Signature of Michael J. Finn		Date
Michael J. Finn, PE, LEED-AP PROFESSIONAL ENGINEER NY Lic. No. 081473		
LANGAN Langan Engineering, Environmental, Surveying, Landscape Architecture, and Geology, D.P.C. One North Broadway, Suite 910 White Plains, NY 10601 T: 914.323.7400 F: 914.323.7401 www.langan.com		
Project		
BRIARCLIFF SOLAR, LLC		
VILLAGE OF BRIARCLIFF MANOR WESTCHESTER COUNTY NEW YORK		
Drawing Title		
EXISTING STEEP SLOPES PLAN		
Project No. 190091001		Drawing No. C002
Date 04/04/2023		
Drawn By SF		
Checked By CZ		
Sheet 3 of 37		



PROPOSED CONDITIONS SLOPE MAP
SCALE 1" = 200'

STEEP SLOPES LEGEND

	SLOPE RANGE	PARCEL AREA	PERCENT OF PARCEL	PROJECT AREA	PERCENT OF PROJECT	PROJECT PARCEL COVERAGE
	0 - 15%	58.40 AC	60.20 %	31.54 AC	72.01 %	32.50 %
	15 - 25 %	26.24 AC	27.04 %	12.25 AC	27.97 %	12.62 %
	>25%	12.40 AC	12.76 %	0.01 AC	0.02 %	0.01 %
	TOTALS:	97.04 AC	100 %	43.80 AC	100 %	45.13 %

- NOTES
- 1) "PARCEL AREA" CONSIDERS THE ACREAGE OF THE FOUR CONTIGUOUS PARCELS OWNED BY THE APPLICANT.
 - 2) "PERCENT OF PARCEL" REFERS TO THE PERCENTAGE OF THE APPLICANTS HOLDINGS FALLING WITHIN THE DESIGNATED SLOPE RANGE.
 - 3) "PROJECT AREA" REFERS TO THE ACREAGE OF THE PROPOSED PROJECT FALLING WITHIN THE DESIGNATED SLOPE RANGE.
 - 4) "PERCENT OF PROJECT" REFERS TO THE PERCENTAGE OF THE PROPOSED PROJECT FALLING WITHIN THE DESIGNATED SLOPE RANGE.
 - 5) "PROJECT PARCEL COVERAGE" REFERS TO THE PERCENTAGE OF LAND CONTAINING THE PROPOSED PROJECT AS COMPARED TO THE FOUR CONTIGUOUS PARCELS OWNED BY THE APPLICANT.
 - 6) STEEP SLOPE DATA SOURCE: WESTCHESTER COUNTY GIS.
 - 7) PROPOSED DISTURBANCE OF >25% SLOPE AREA IS RELATED TO THE INSTALLATION OF FENCE POSTS. TREES WITHIN THE >25% SLOPE AREA WILL ONLY BE CUT AND THE STUMPS WILL REMAIN. PROPOSED SOLAR RACKS ARE LOCATED OUTSIDE OF THE >25% SLOPE AREAS TO REMAIN.

Date	Description	No.
Revisions		
<div>200 0 100 200</div> <div>SCALE 1 INCH = 200 FEET</div>		
<p>WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.</p>		
<div><div></div><div>04/11/2023 Date</div></div> <div><div>Signature of Michael J. Finnegan</div><div>PROFESSIONAL ENGINEER NY Lic. No. 081473</div></div>		
<div>LANGAN Langan Engineering, Environmental, Surveying, Landscape Architecture, and Geology, D.P.C. One North Broadway, Suite 910 White Plains, NY 10601 T: 914.323.7400 F: 914.323.7401 www.langan.com</div>		
Project		
BRIARCLIFF SOLAR, LLC		
VILLAGE OF BRIARCLIFF MANOR WESTCHESTER COUNTY NEW YORK		
Drawing Title		
PROPOSED STEEP SLOPES PLAN		
Project No. 190091001	Drawing No.	
Date 04/04/2023	C003	
Drawn By SF		
Checked By CZ		
Sheet 4 of 37		



EXISTING CONDITIONS: TREE INVENTORY
SCALE 1" = 200'



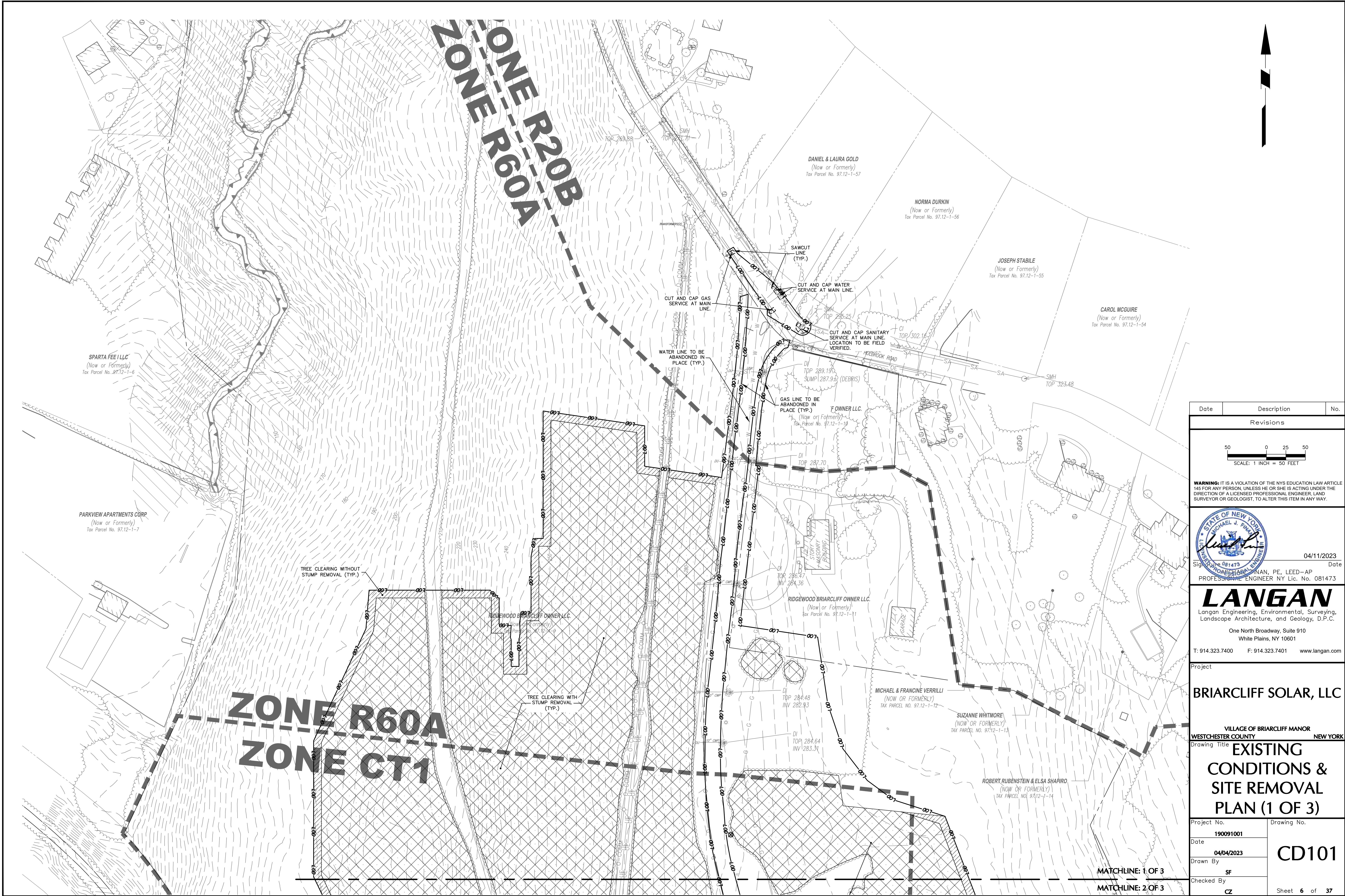
PROPOSED DEMOLITION PLAN: TREE INVENTORY
SCALE 1" = 200'

- TREE CLEARING
- ASPHALT DEMO
- BUILDING DEMO
- ATHLETIC COURT DEMO

TREE SURVEY LEGEND

TREE TYPE	SYMBOL	EXISTING	PROPOSED DEMO
NON-INVASIVE DEAD	○	138	93
NON-INVASIVE POOR CONDITION	●	67	40
NON-INVASIVE CRITICAL CONDITION	⊙	102	46
NON-INVASIVE FAIR CONDITION	⊛	1,288	721
NON-INVASIVE GOOD CONDITION	⊔	553	310
INVASIVE TREES	⊗	1,447	612
	TOTAL	3,595	1,822

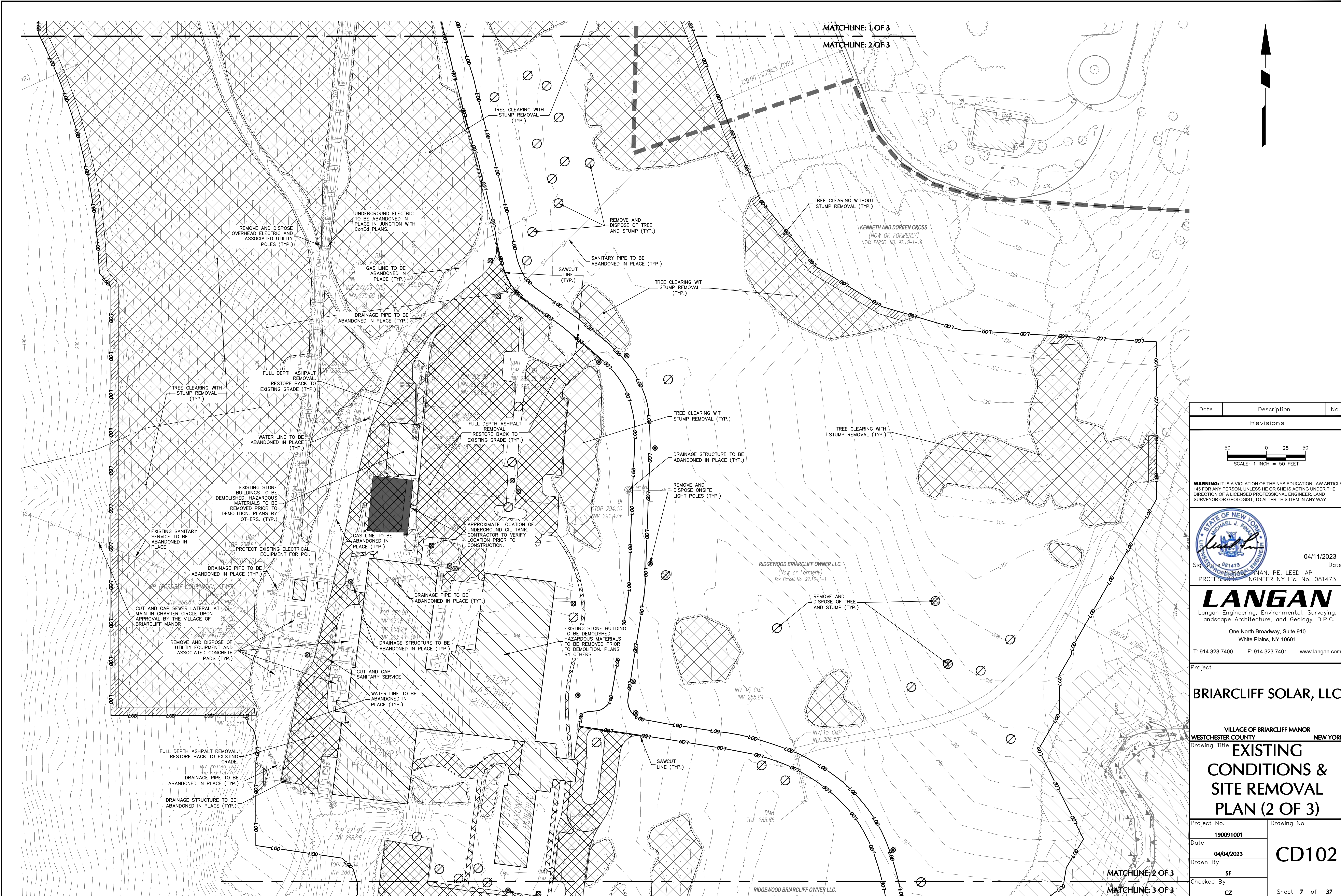
Date	Description	No.
Revisions		
200 0 100 200 SCALE: 1 INCH = 200 FEET		
WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.		
04/11/2023		Date
Michael J. Finn, PE, LEED-AP PROFESSIONAL ENGINEER NY Lic. No. 081473		
LANGAN Langan Engineering, Environmental, Surveying, Landscape Architecture, and Geology, D.P.C. One North Broadway, Suite 910 White Plains, NY 10601 T: 914.323.7400 F: 914.323.7401 www.langan.com		
Project		
BRIARCLIFF SOLAR, LLC		
VILLAGE OF BRIARCLIFF MANOR WESTCHESTER COUNTY NEW YORK		
Drawing Title		
TREE INVENTORY		
Project No. 190091001		Drawing No. C004
Date 04/04/2023		
Drawn By SF		
Checked By CZ		
		Sheet 5 of 37



Date	Description	No.
Revisions		
<div><div></div><div>5002550</div><div>SCALE: 1 INCH = 50 FEET</div></div>		
<p>WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.</p>		
<div><div></div><div>04/11/2023 Date Signature: MICHAEL J. FINNEGAN, PE, LEED-AP PROFESSIONAL ENGINEER NY Lic. No. 081473</div></div>		
<div><div>LANGAN Langan Engineering, Environmental, Surveying, Landscape Architecture, and Geology, D.P.C. One North Broadway, Suite 910 White Plains, NY 10601 T: 914.323.7400 F: 914.323.7401 www.langan.com</div></div>		
Project BRIARCLIFF SOLAR, LLC		
VILLAGE OF BRIARCLIFF MANOR WESTCHESTER COUNTY NEW YORK		
Drawing Title EXISTING CONDITIONS & SITE REMOVAL PLAN (1 OF 3)		
Project No. 190091001		Drawing No. CD101
Date 04/04/2023		Sheet 6 of 37
Drawn By SF		
Checked By CZ		

MATCHLINE: 1 OF 3

MATCHLINE: 2 OF 3




Date	Description	No.
------	-------------	-----

Revisions



WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.



04/11/2023
Date

Signature: *Michael J. Finnegan*
Michael J. Finnegan, PE, LEED-AP
Professional Engineer NY Lic. No. 081473



Langan Engineering, Environmental, Surveying,
Landscape Architecture, and Geology, D.P.C.

One North Broadway, Suite 910
White Plains, NY 10601

T: 914.323.7400 F: 914.323.7401 www.langan.com

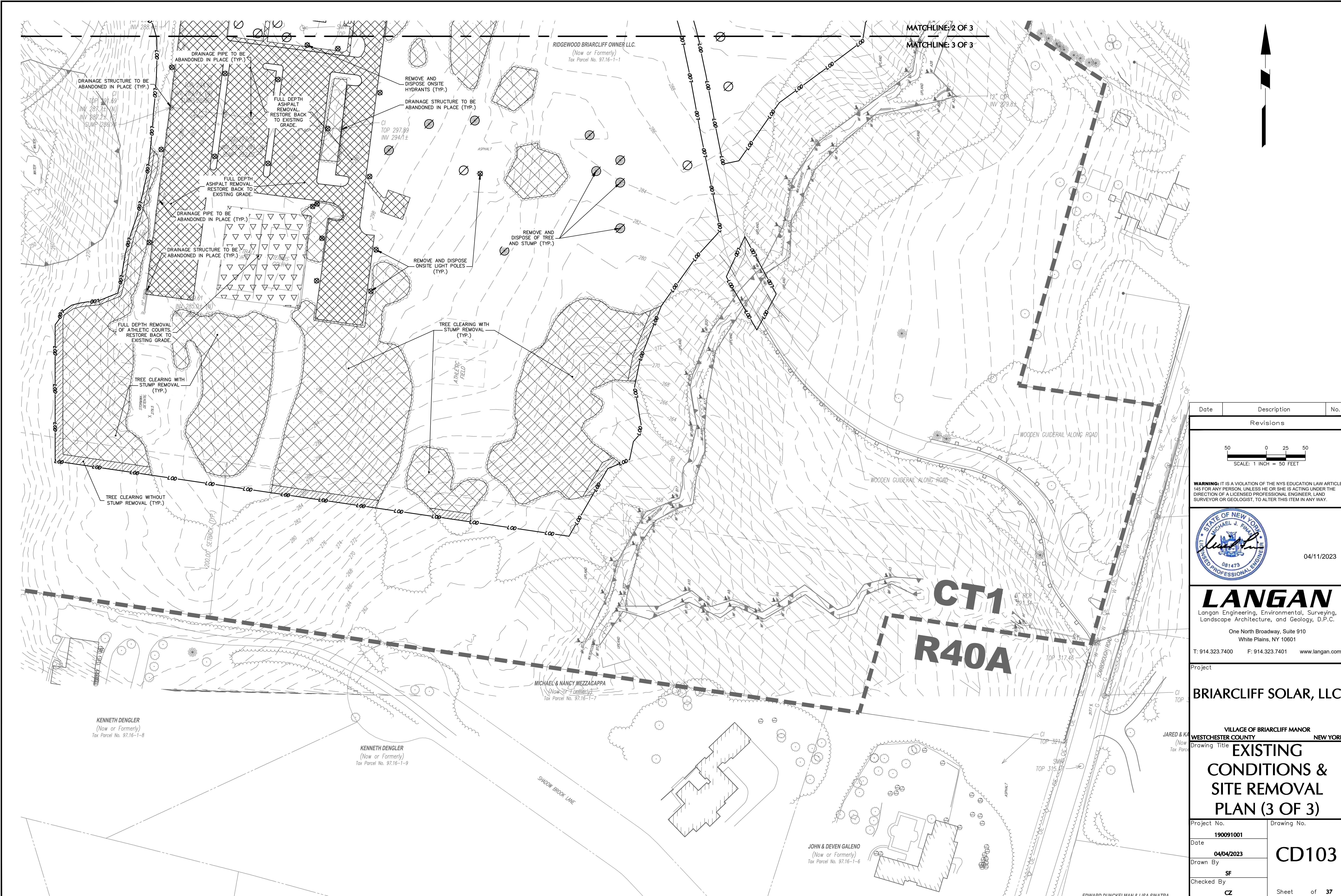
Project

BRIARCLIFF SOLAR, LLC

VILLAGE OF BRIARCLIFF MANOR
WESTCHESTER COUNTY NEW YORK

Drawing Title
**EXISTING
CONDITIONS &
SITE REMOVAL
PLAN (2 OF 3)**

Project No. 190091001	Drawing No. CD102
Date 04/04/2023	
Drawn By SF	
Checked By CZ	
Sheet 7 of 37	



Date	Description	No.
------	-------------	-----

Revisions



WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.



LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture, and Geology, D.P.C.
One North Broadway, Suite 910
White Plains, NY 10601
T: 914.323.7400 F: 914.323.7401 www.langan.com

Project

BRIARCLIFF SOLAR, LLC

VILLAGE OF BRIARCLIFF MANOR
WESTCHESTER COUNTY NEW YORK

Drawing Title
**EXISTING
CONDITIONS &
SITE REMOVAL
PLAN (3 OF 3)**

Project No. 190091001	Drawing No. CD103
Date 04/04/2023	
Drawn By SF	
Checked By CZ	
	Sheet of 37



ZONING INFORMATION		
Property Address(es):	345 Scarborough Rd, Briarcliff Manor, NY	
Website:	HTTPS://https://ecode360.com/7690937	
Classification:	Complimentary Use Transition 1 (CT1) & Residential 60 (R60)	
Item	Required	Proposed
Front Setback	200 ft	200 ft
Side Setback	200 ft	200 ft
Rear Setback	200 ft	200 ft
Dwelling Setback	N/A	N/A
Min. Fence Height	6 ft	7 ft

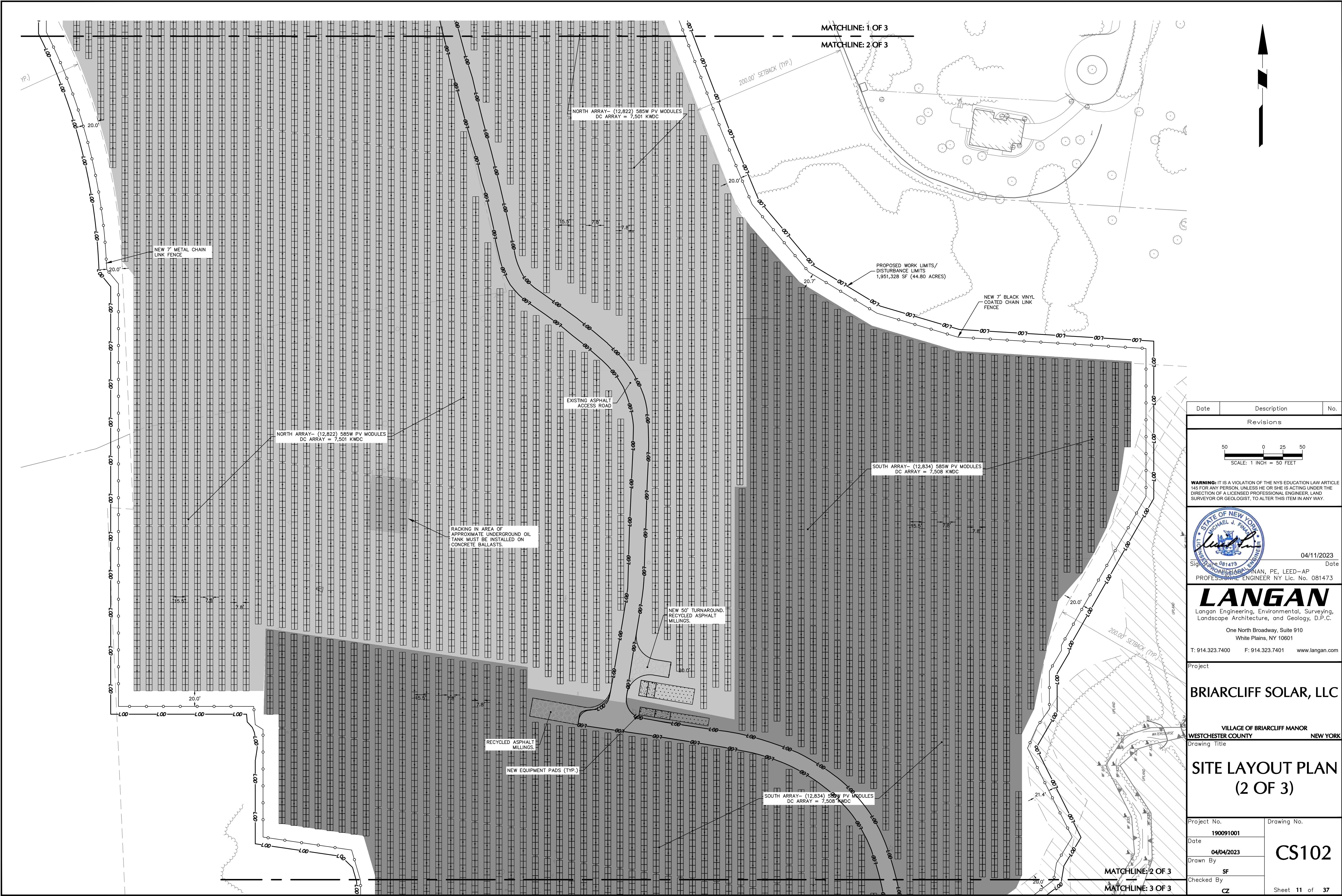


Date	Description	No.								
Revisions										
<div>150 0 75 150 SCALE: 1 INCH = 150 FEET</div> <p>WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.</p> <div><div>04/11/2023 Date Michael J. Finnegan, PE, LEED-AP PROFESSIONAL ENGINEER NY Lic. No. 081473</div></div> <p>LANGAN Langan Engineering, Environmental, Surveying, Landscape Architecture, and Geology, D.P.C. One North Broadway, Suite 910 White Plains, NY 10601 T: 914.323.7400 F: 914.323.7401 www.langan.com</p> <p>Project BRIARCLIFF SOLAR, LLC VILLAGE OF BRIARCLIFF MANOR WESTCHESTER COUNTY NEW YORK Drawing Title OVERALL SITE LAYOUT PLAN</p> <table><tr><td>Project No. 190091001</td><td>Drawing No. CS100</td></tr><tr><td>Date 04/04/2023</td><td></td></tr><tr><td>Drawn By SF</td><td></td></tr><tr><td>Checked By CZ</td><td></td></tr></table> <div>Sheet 9 of 37</div>			Project No. 190091001	Drawing No. CS100	Date 04/04/2023		Drawn By SF		Checked By CZ	
Project No. 190091001	Drawing No. CS100									
Date 04/04/2023										
Drawn By SF										
Checked By CZ										



Date	Description	No.
Revisions		
<div>50 0 25 50</div> <div>SCALE: 1 INCH = 50 FEET</div>		
<p>WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.</p>		
<div></div>		04/11/2023
Signature: <i>Michael J. Finn</i>		Date
Langan, PE, LEED-AP PROFESSIONAL ENGINEER NY Lic. No. 081473		
<div>LANGAN Langan Engineering, Environmental, Surveying, Landscape Architecture, and Geology, D.P.C. One North Broadway, Suite 910 White Plains, NY 10601 T: 914.323.7400 F: 914.323.7401 www.langan.com</div>		
Project		
BRIARCLIFF SOLAR, LLC		
VILLAGE OF BRIARCLIFF MANOR WESTCHESTER COUNTY NEW YORK		
Drawing Title		
SITE LAYOUT PLAN (1 OF 3)		
Project No. 190091001		Drawing No. CS101
Date 04/04/2023		Sheet 10 of 37
Drawn By SF		
Checked By CZ		

MATCHLINE: 1 OF 3
MATCHLINE: 2 OF 3

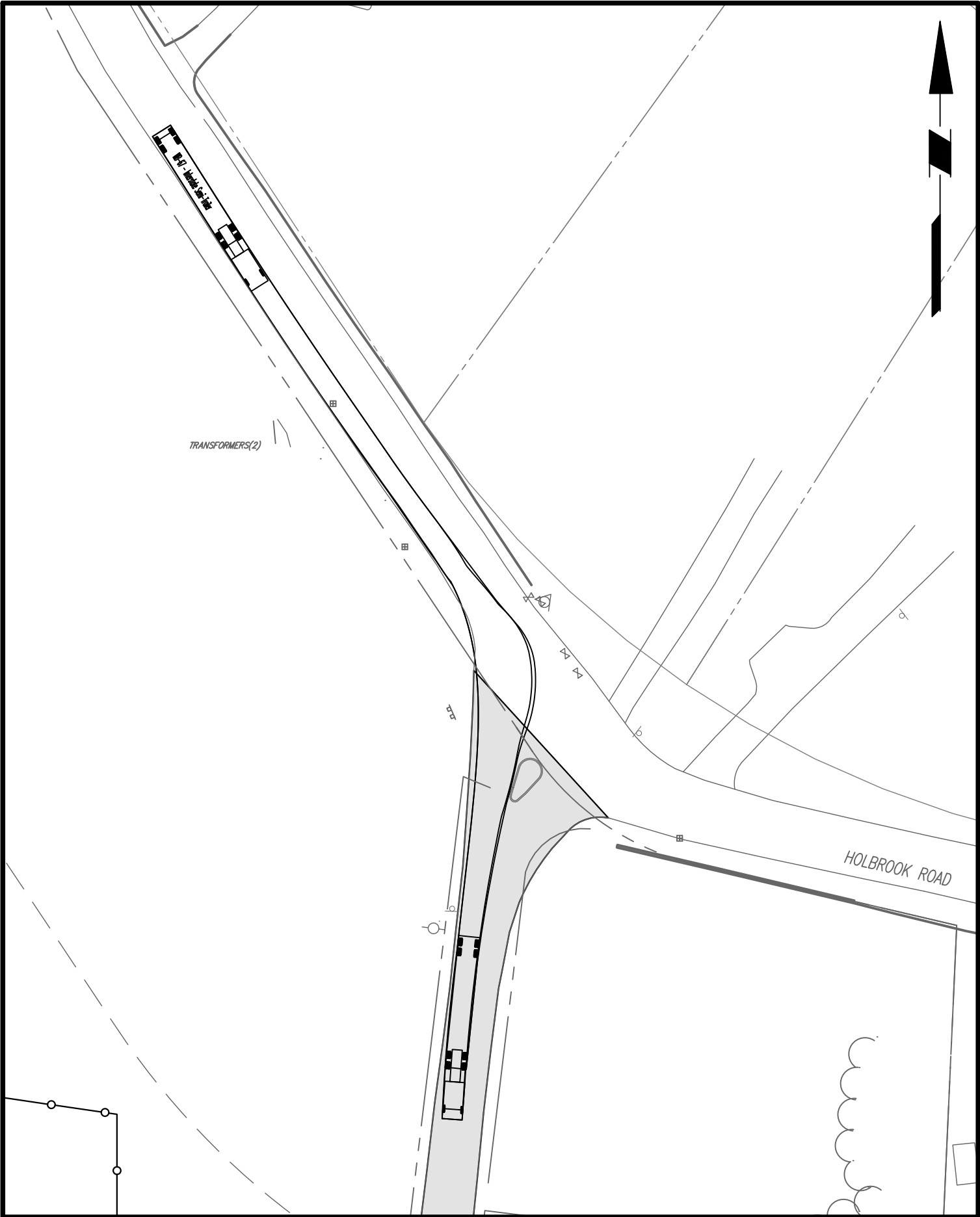


Date	Description	No.
Revisions		
50 0 25 50 SCALE: 1 INCH = 50 FEET		
WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.		
		
04/11/2023 Date Signature: <i>Michael J. Finnegan</i> PROFESSIONAL ENGINEER NY Lic. No. 081473		
LANGAN Langan Engineering, Environmental, Surveying, Landscape Architecture, and Geology, D.P.C. One North Broadway, Suite 910 White Plains, NY 10601 T: 914.323.7400 F: 914.323.7401 www.langan.com		
Project BRIARCLIFF SOLAR, LLC VILLAGE OF BRIARCLIFF MANOR WESTCHESTER COUNTY NEW YORK Drawing Title SITE LAYOUT PLAN (2 OF 3)		
Project No. 190091001		Drawing No. CS102
Date 04/04/2023		Sheet 11 of 37
Drawn By SF		
Checked By CZ		



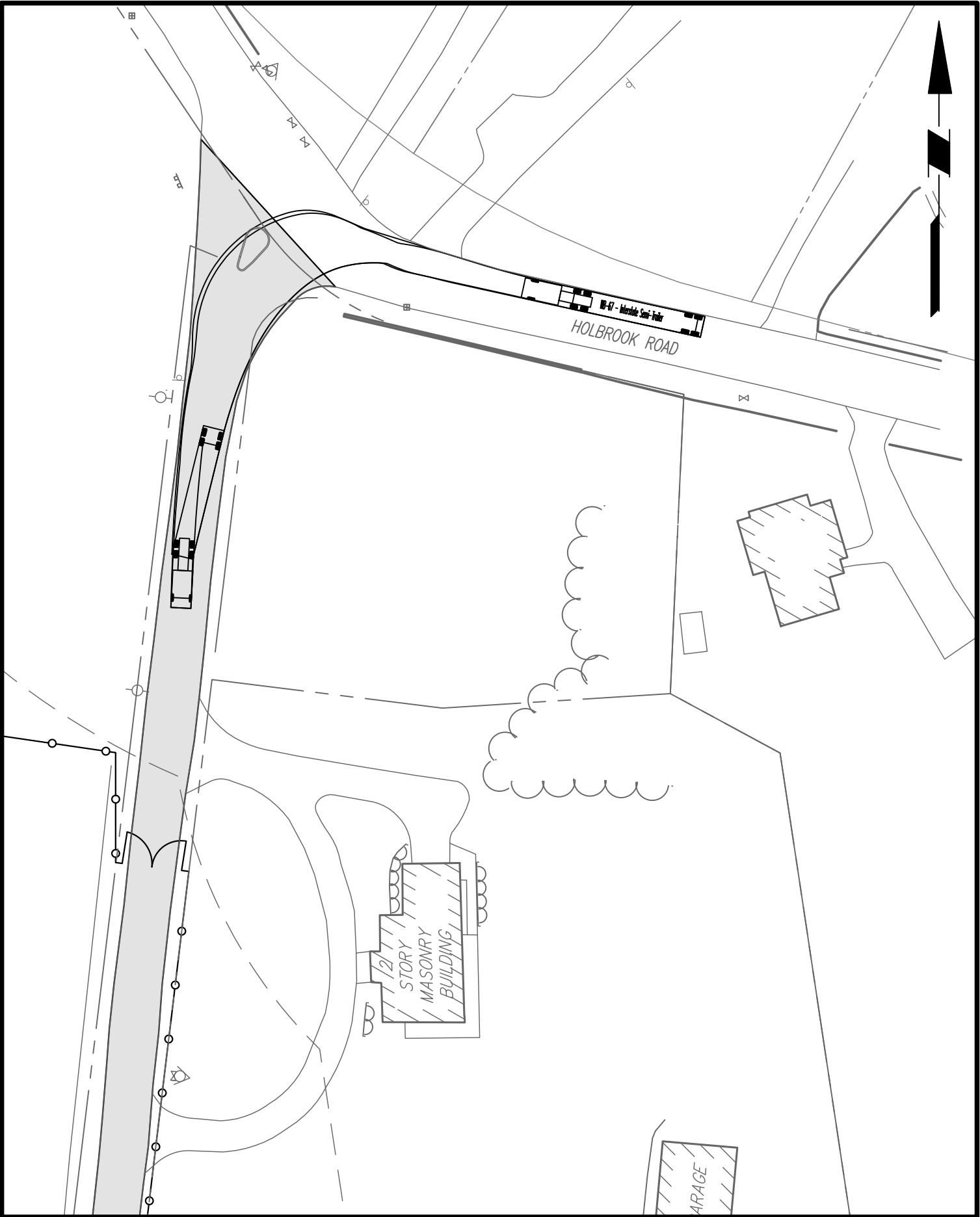
HOLBROOK ROAD DRIVEWAY SIGHT TRIANGLES

SCALE 1" = 50'



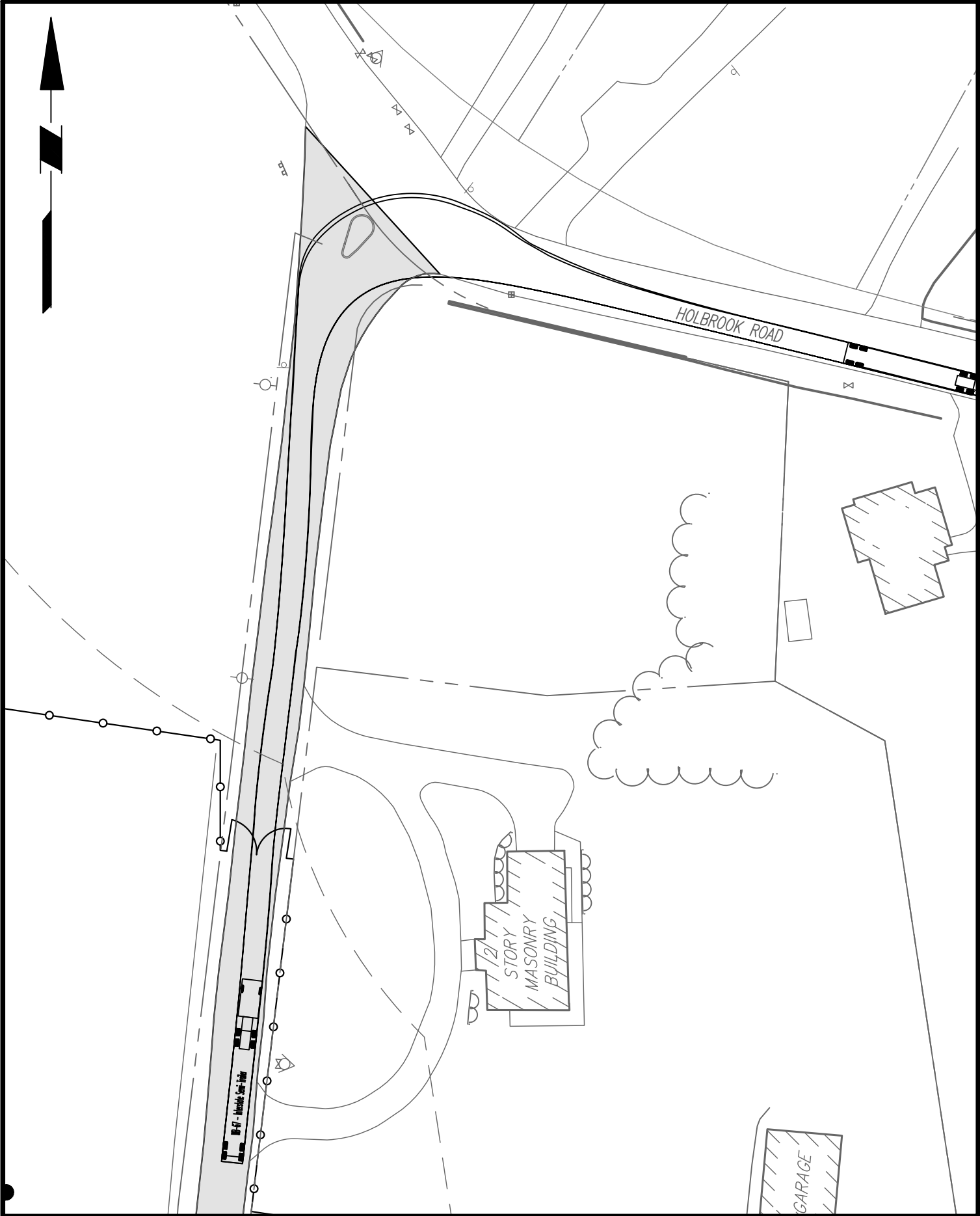
RIGHT TURN FROM HOLBROOK RD

SCALE 1" = 50'



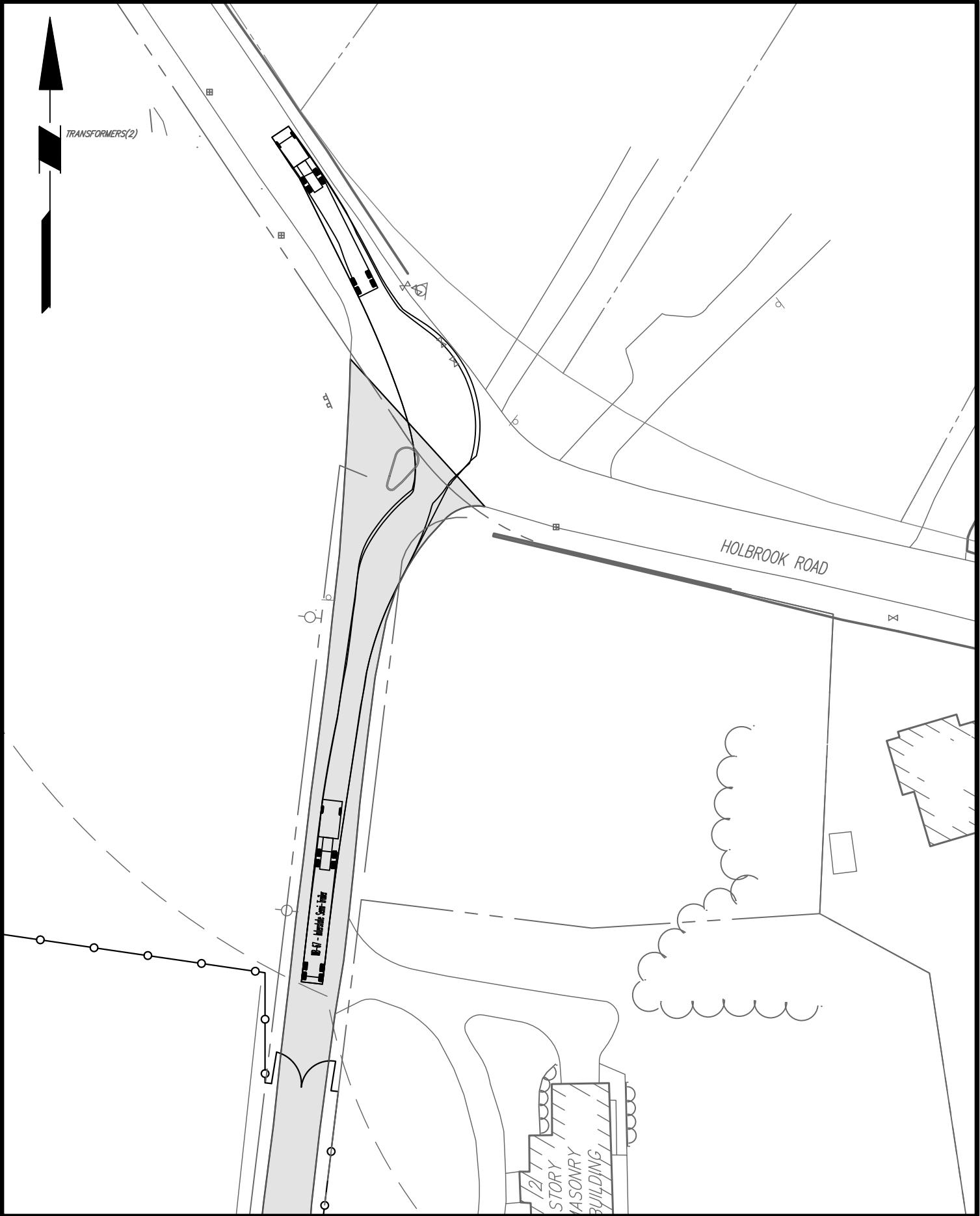
LEFT TURN FROM HOLBROOK RD

SCALE 1" = 50'



RIGHT TURN ONTO HOLBROOK RD

SCALE 1" = 50'



LEFT TURN ONTO HOLBROOK RD

SCALE 1" = 50'

Date	Description	No.
Revisions		
<div><div>500250</div><div>SCALE: 1 INCH = 50 FEET</div></div>		
<p>WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.</p>		
<div><div><div>STATE OF NEW YORK</div><div>SEAL</div><div>PROFESSIONAL ENGINEER</div><div>081473</div></div><div>04/11/2023</div></div>		Date
Michael J. Finnegan, PE, LEED-AP PROFESSIONAL ENGINEER NY Lic. No. 081473		
<div><div><div>LANGAN</div><div>Langan Engineering, Environmental, Surveying, Landscape Architecture, and Geology, D.P.C.</div><div>One North Broadway, Suite 910 White Plains, NY 10601</div><div>T: 914.323.7400 F: 914.323.7401 www.langan.com</div></div></div>		
Project		
BRIARCLIFF SOLAR, LLC		
VILLAGE OF BRIARCLIFF MANOR WESTCHESTER COUNTY NEW YORK		
Drawing Title		
TURNING MOVEMENTS (1 OF 4)		
Project No.		Drawing No.
190091001		CS201
Date		
04/04/2023		
Drawn By		
SF		Sheet 13 of 37
Checked By		
CZ		



SCARBOROUGH ROAD DRIVEWAY SIGHT TRIANGLES

SCALE 1" = 50'



RIGHT TURN FROM SCARBOROUGH RD

SCALE 1" = 50'



LEFT TURN FROM SCARBOROUGH RD

SCALE 1" = 50'



RIGHT TURN ONTO SCARBOROUGH RD

SCALE 1" = 50'

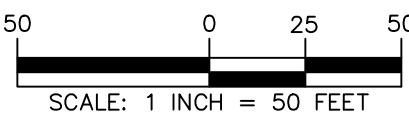


LEFT TURN ONTO SCARBOROUGH RD

SCALE 1" = 50'

Date	Description	No.
------	-------------	-----

Revisions



WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.



04/11/2023

Signature: Michael J. Finnegan, PE, LEED-AP
Professional Engineer NY Lic. No. 081473

LANGAN

Langan Engineering, Environmental, Surveying,
Landscape Architecture, and Geology, D.P.C.

One North Broadway, Suite 910
White Plains, NY 10601

T: 914.323.7400 F: 914.323.7401 www.langan.com

Project

BRIARCLIFF SOLAR, LLC

VILLAGE OF BRIARCLIFF MANOR
WESTCHESTER COUNTY NEW YORK

Drawing Title

**TURNING
MOVEMENTS
(2 OF 4)**

Project No. 190091001 Drawing No.

Date 04/04/2023

Drawn By SF

Checked By CZ

CS202

Sheet 14 of 37



RIGHT TURN FROM RTE 9 TO SCARBOROUGH RD (WB-67)
SCALE 1" = 50'



LEFT TURN FROM RTE 9 TO SCARBOROUGH RD (WB-67)
SCALE 1" = 50'



RIGHT TURN FROM SCARBOROUGH RD TO RTE 9 (WB-67)
SCALE 1" = 50'



LEFT TURN FROM SCARBOROUGH RD TO RTE 9 (WB-67)
SCALE 1" = 50'

Date	Description	No.
Revisions		
<div>50 0 25 50 SCALE: 1 INCH = 50 FEET</div> <p>WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.</p> <div><div><div>04/11/2023 Date Michael J. Finnegan, PE, LEED-AP PROFESSIONAL ENGINEER NY Lic. No. 081473</div></div><div>LANGAN Langan Engineering, Environmental, Surveying, Landscape Architecture, and Geology, D.P.C. One North Broadway, Suite 910 White Plains, NY 10601 T: 914.323.7400 F: 914.323.7401 www.langan.com</div></div> <div>Project BRIARCLIFF SOLAR, LLC VILLAGE OF BRIARCLIFF MANOR WESTCHESTER COUNTY NEW YORK Drawing Title TURNING MOVEMENTS (4 OF 4)</div> <div><div>Project No. 190091001 Date 04/04/2023 Drawn By SF Checked By CZ</div><div>Drawing No. CS204 Sheet 16 of 37</div></div>		



Date	Description	No.
Revisions		
<div>50 0 25 50</div> <div>SCALE: 1 INCH = 50 FEET</div>		
<p>WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.</p>		
<div></div>		04/11/2023
Signature: <i>Michael J. Finnegan</i>		Date
Michael J. Finnegan, PE, LEED-AP Professional Engineer NY Lic. No. 081473		
<div>LANGAN Langan Engineering, Environmental, Surveying, Landscape Architecture, and Geology, D.P.C. One North Broadway, Suite 910 White Plains, NY 10601 T: 914.323.7400 F: 914.323.7401 www.langan.com</div>		
Project		
BRIARCLIFF SOLAR, LLC		
VILLAGE OF BRIARCLIFF MANOR WESTCHESTER COUNTY NEW YORK		
Drawing Title		
GRADING, DRAINAGE & UTILITY PLAN (1 OF 3)		
Project No.		Drawing No.
190091001		CG101
Date		
04/04/2023		
Drawn By		
SF		Sheet 17 of 37
Checked By		
CZ		

MATCHLINE: 1 OF 3
MATCHLINE: 2 OF 3



Date	Description	No.
Revisions		

50 0 25 50
SCALE: 1" INCH = 50 FEET

WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.


04/11/2023
Date
Michael J. Finn, PE, LEED-AP
Professional Engineer NY Lic. No. 081473

LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture, and Geology, D.P.C.
One North Broadway, Suite 910
White Plains, NY 10601
T: 914.323.7400 F: 914.323.7401 www.langan.com


Project
BRIARCLIFF SOLAR, LLC
VILLAGE OF BRIARCLIFF MANOR
WESTCHESTER COUNTY NEW YORK
Drawing Title
**GRADING,
DRAINAGE &
UTILITY PLAN
(2 OF 3)**

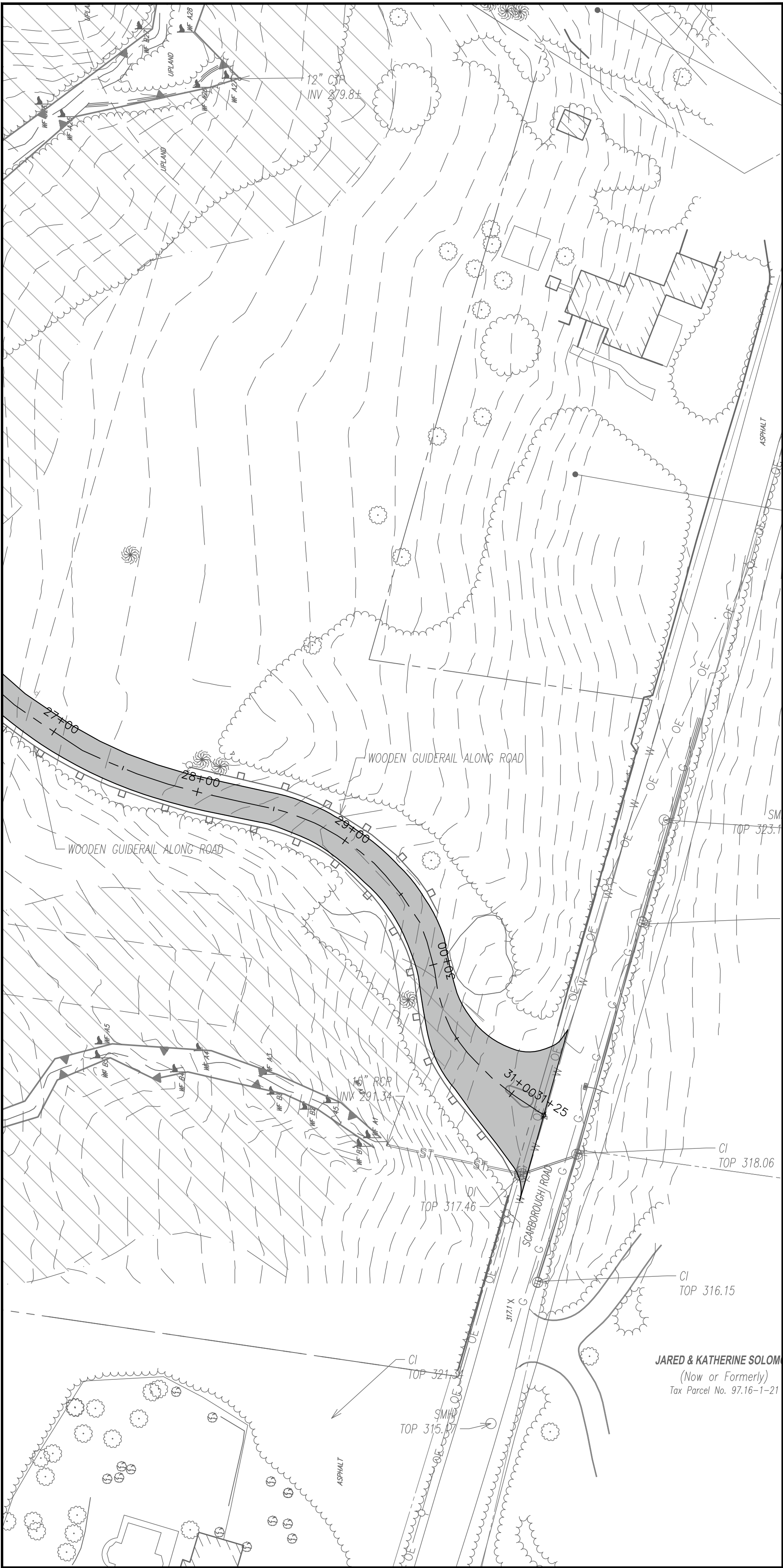
Project No.	Drawing No.
190091001	CG102

Date	Drawn By	Checked By
04/04/2023	SF	CZ

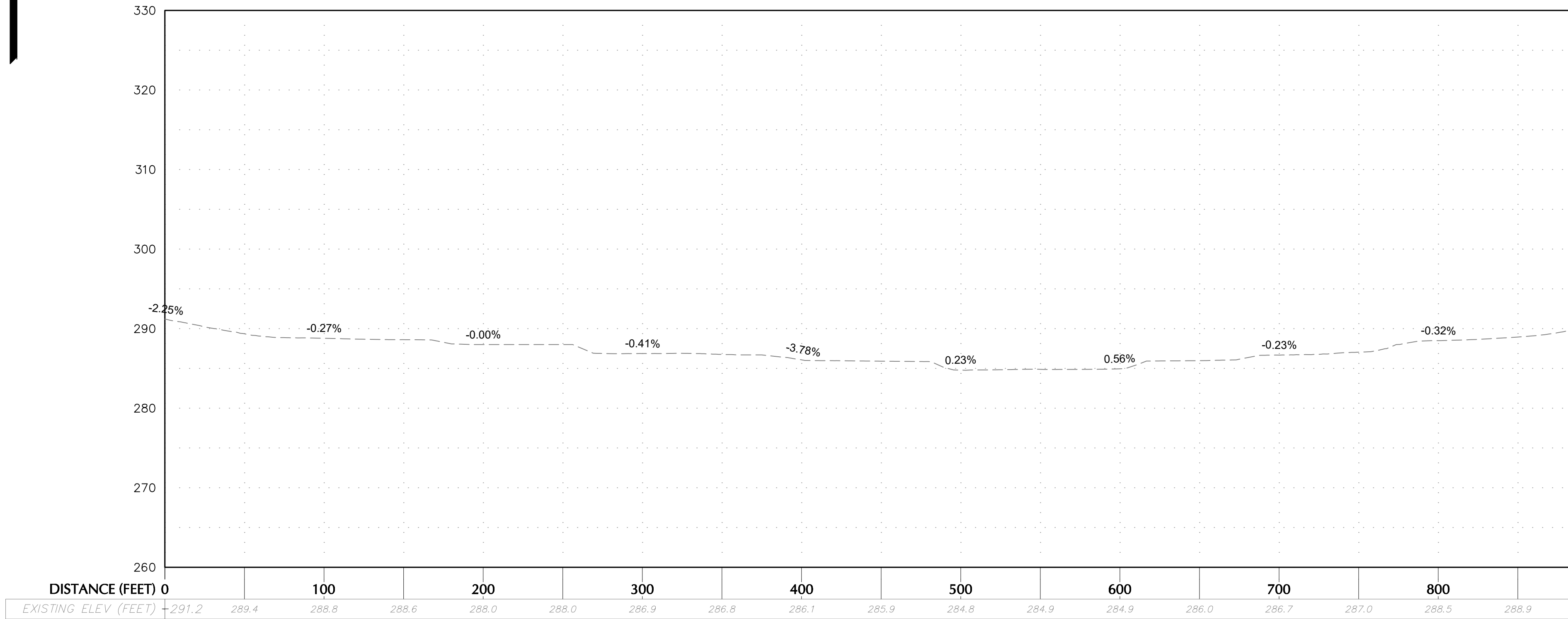
Sheet 18 of 37



Date	Description	No.
Revisions		
50 0 25 50 SCALE: 1 INCH = 50 FEET		
WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.		
		04/11/2023 Date
Signed: PROF. MICHAEL J. FINNEGAN, PE, LEED-AP PROFESSIONAL ENGINEER NY Lic. No. 081473		
LANGAN Langan Engineering, Environmental, Surveying, Landscape Architecture, and Geology, D.P.C. One North Broadway, Suite 910 White Plains, NY 10601 T: 914.323.7400 F: 914.323.7401 www.langan.com		
Project BRIARCLIFF SOLAR, LLC		
VILLAGE OF BRIARCLIFF MANOR WESTCHESTER COUNTY NEW YORK Drawing Title GRADING, DRAINAGE & UTILITY PLAN (3 OF 3)		
Project No. 190091001		Drawing No. CG103
Date 04/04/2023		
Drawn By SF		
Checked By CZ		
Sheet 19 of 37		

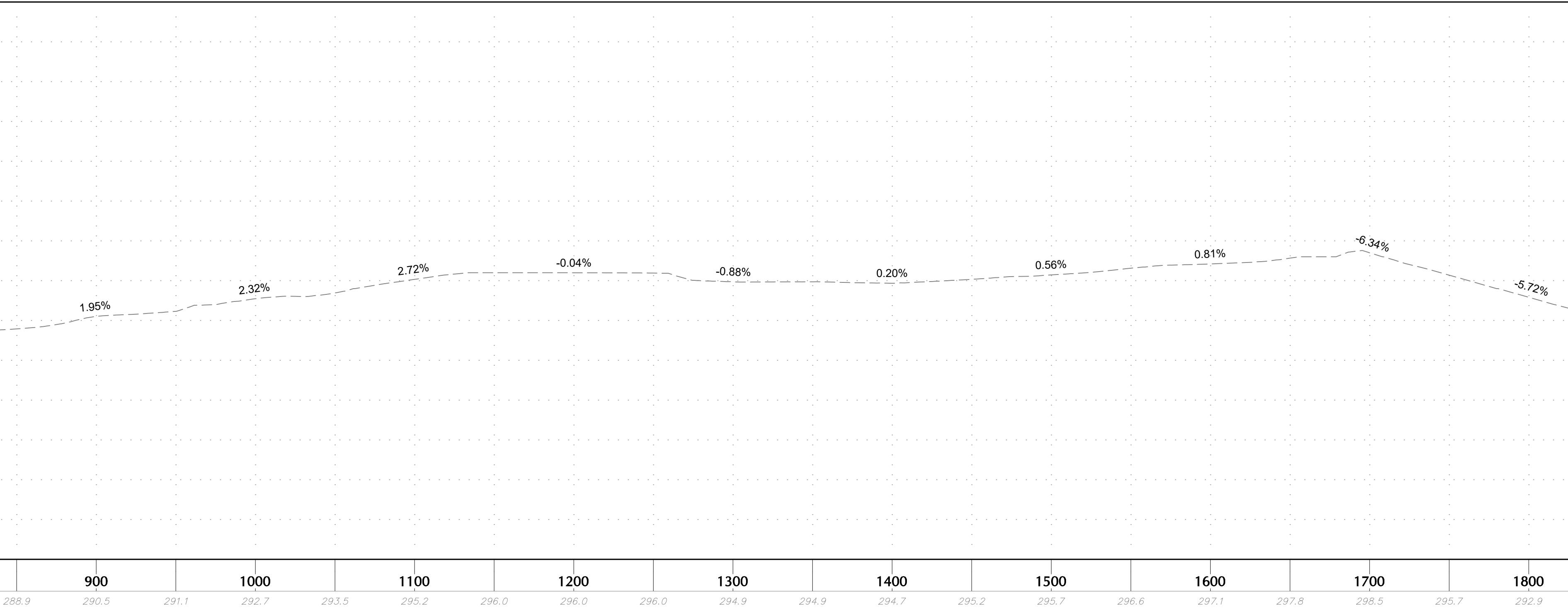


ACCESS ROAD PROFILE
SCALE 1" = 50'



ACCESS ROAD PROFILE STA. 0 TO 850

SCALE 1" = 50' H
1" = 10' V

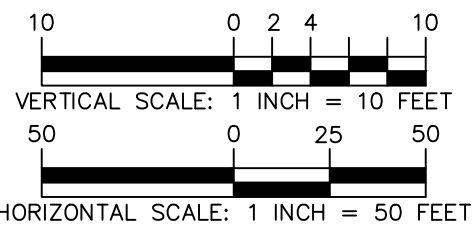


ACCESS ROAD PROFILE STA. 850 TO 1800

SCALE 1" = 50' H
1" = 10' V

Date	Description	No.
------	-------------	-----

Revisions



WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.



04/11/2023

Signature: Michael J. Finnegan, PE, LEED-AP
Professional Engineer NY Lic. No. 081473

LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture, and Geology, D.P.C.

One North Broadway, Suite 910
White Plains, NY 10601
T: 914.323.7400 F: 914.323.7401 www.langan.com

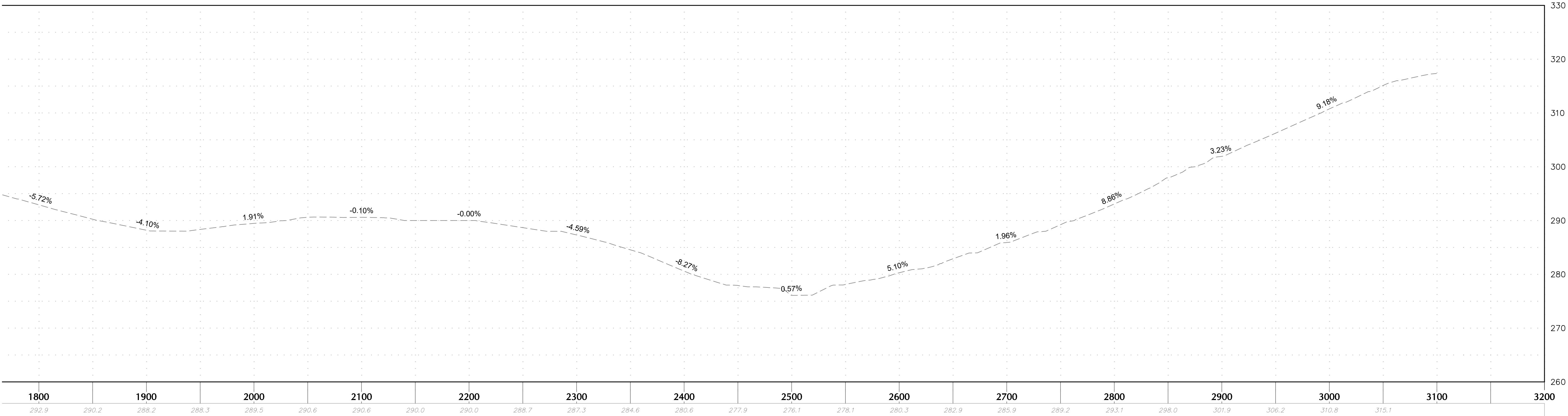
Project

BRIARCLIFF SOLAR, LLC

VILLAGE OF BRIARCLIFF MANOR
WESTCHESTER COUNTY NEW YORK
Drawing Title

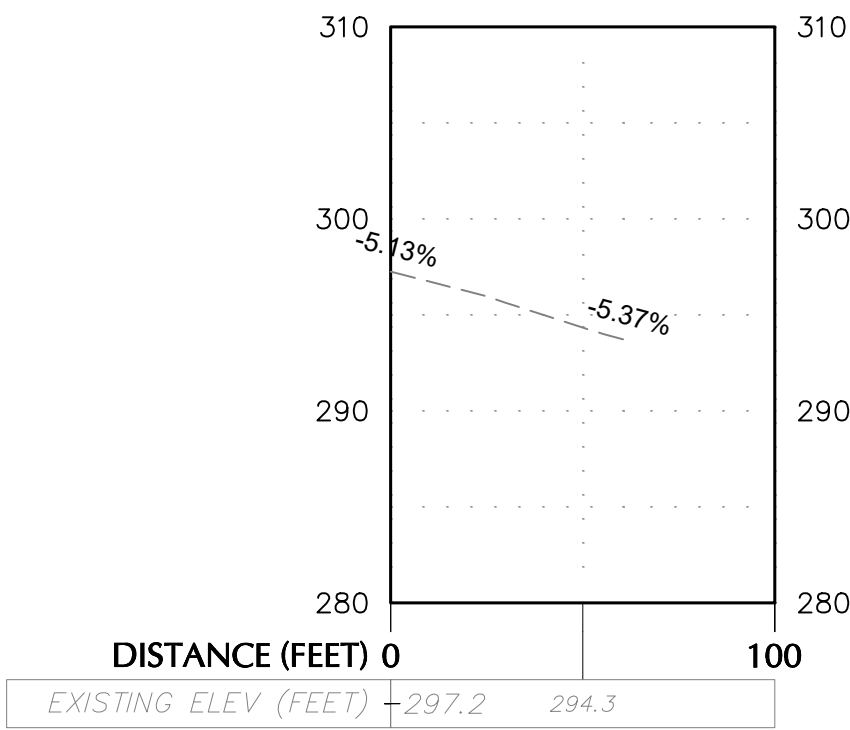
**ACCESS ROAD
PROFILE (1 OF 2)**

Project No. 190091001	Drawing No. CG201
Date 04/04/2023	
Drawn By SF	
Checked By CZ	Sheet 20 of 37



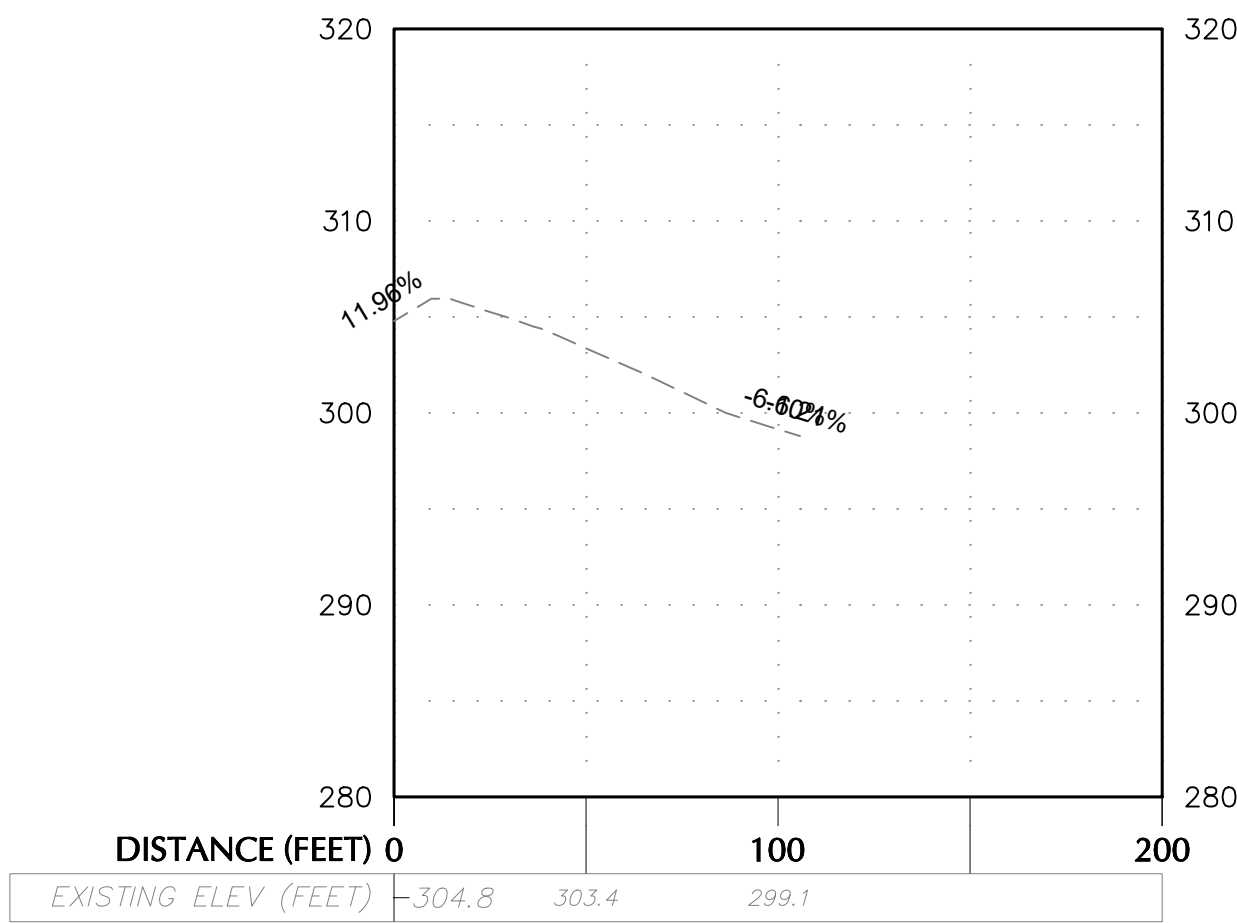
ACCESS ROAD PROFILE STA. 1800 TO 3200

SCALE 1" = 50' H
1" = 10' V



PAD DRIVE PROFILE

SCALE 1" = 50' H
1" = 10' V



TURN AROUND PROFILE

SCALE 1" = 50' H
1" = 10' V

Date	Description	No.
Revisions		
<div><div><div>100</div><div>0</div><div>2</div><div>4</div><div>10</div></div><div>VERTICAL SCALE: 1 INCH = 10 FEET</div><div>500</div><div>0</div><div>25</div><div>50</div></div> <div>HORIZONTAL SCALE: 1 INCH = 50 FEET</div> <div>WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.</div>		
<div><div><div><div>STATE OF NEW YORK</div><div>SEAL</div><div><div><div>Michael J. Finn</div><div>081473</div><div>Professional Engineer</div></div></div></div><div>04/11/2023</div><div>Signature</div><div>Michael J. Finn, PE, LEED-AP Professional Engineer NY Lic. No. 081473</div></div></div>		
<div><div><div><div>LANGAN</div><div>Langan Engineering, Environmental, Surveying, Landscape Architecture, and Geology, D.P.C.</div><div>One North Broadway, Suite 910 White Plains, NY 10601</div><div>T: 914.323.7400 F: 914.323.7401 www.langan.com</div></div></div></div>		
Project		
BRIARCLIFF SOLAR, LLC		
VILLAGE OF BRIARCLIFF MANOR WESTCHESTER COUNTY NEW YORK		
Drawing Title		
ACCESS ROAD PROFILE (2 OF 2)		
Project No.	Drawing No.	
190091001	CG202	
Date		
04/04/2023		
Drawn By		
SF	Sheet 21 of 37	
Checked By		
CZ		



Date	Description	No.
------	-------------	-----

Revisions



WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.



04/11/2023

Signature: *Michael J. Finnegan*
PROFESSIONAL ENGINEER NY Lic. No. 081473

LANGAN

Langan Engineering, Environmental, Surveying,
Landscape Architecture, and Geology, D.P.C.

One North Broadway, Suite 910
White Plains, NY 10601
T: 914.323.7400 F: 914.323.7401 www.langan.com

Project

BRIARCLIFF SOLAR, LLC

VILLAGE OF BRIARCLIFF MANOR
WESTCHESTER COUNTY NEW YORK

Drawing Title

**EROSION &
SEDIMENT CONTROL
PLAN (1 OF 3)**

Project No.

190091001

Date

04/04/2023

Drawn By

SF

Checked By

CZ

Drawing No.

CE101

Sheet 22 of 37

MATCHLINE: 1 OF 3


MATCHLINE: 2 OF 3



Date	Description	No.
Revisions		

50 0 25 50
SCALE: 1 INCH = 50 FEET

WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.


Date: 04/11/2023
Signature: Michael J. Finn
Professional Engineer NY Lic. No. 081473

LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture, and Geology, D.P.C.
One North Broadway, Suite 910
White Plains, NY 10601
T: 914.323.7400 F: 914.323.7401 www.langan.com

Project
BRIARCLIFF SOLAR, LLC
VILLAGE OF BRIARCLIFF MANOR
WESTCHESTER COUNTY NEW YORK
Drawing Title
EROSION & SEDIMENT CONTROL PLAN (2 OF 3)

Project No.	Drawing No.
190091001	CE102

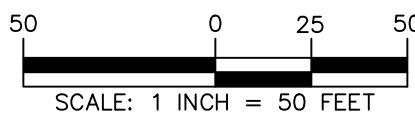
Date	Drawn By	Checked By
04/04/2023	SF	CZ

Sheet 23 of 37



Date	Description	No.
------	-------------	-----

Revisions



WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.



04/11/2023

Signature: Michael J. Finn
PROFESSIONAL ENGINEER NY Lic. No. 081473

LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture, and Geology, D.P.C.

One North Broadway, Suite 910
White Plains, NY 10601
T: 914.323.7400 F: 914.323.7401 www.langan.com

Project

BRIARCLIFF SOLAR, LLC

VILLAGE OF BRIARCLIFF MANOR
WESTCHESTER COUNTY NEW YORK

Drawing Title

**EROSION &
SEDIMENT CONTROL
PLAN (3 OF 3)**

Project No.

190091001

Date

04/04/2023

Drawn By

SF

Checked By

CZ

Drawing No.

CE103

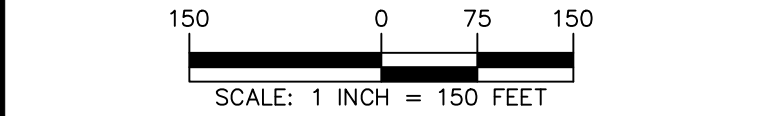
Sheet 24 of 37




CONSTRUCTION SEQUENCE KEY	
CL	COMPLETE TREE REMOVAL AND STUMPING.
ESC	INSTALL EROSION AND SEDIMENT CONTROL PRACTICES.
FNC	INSTALL FENCE.
GR	SITE GRADING.
LD	REMOVE TEMPORARY LAYDOWN AREA. STABILIZE THE DISTURBED AREA.
RD	CONSTRUCT ACCESS ROAD, TEMPORARY LAYDOWN AREA, AND/OR INVERTER PADS.
RDF	COMPLETE SITE RESTORATION OVER PERMEABLE HAUL ROAD AND FINALIZE INSTALLATION.
RM	REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES. STABILZE THE DISTURBED AREA.
RST	COMPLETE SITE RESTORATION. APPLY SEED AND MULCH.
SMP	INSTALL GRASS FILTER STRIP.
SOL	INSTALL SOLAR PANELS.
TS	APPLY TEMPORARY SEED AND MULCH.
NOTES: 1. PHASE AND DESCRIPTIONS ARE INTENDED TO PROVIDE A GENERAL DESCRIPTION OF GROUND DISTURBING ACTIVITIES. GROUND DISTURBANCES SUCH AS TRENCHING FOR CONDUIT AND OTHER ELECTRICAL EQUIPMENT INSTALLATION NEEDS MAY ALSO BE OCCURRING DURING ANY GIVEN PHASE. THE OVERALL DISTURBANCE WILL BE MONITORED BY THE QUALIFIED INSPECTOR TO ENSURE THE SITE DISTURBANCE REMAINS UNDER FIVE ACRES AT ANY GIVEN TIME. 2. PROPOSED PHASING IS TO BE IMPLEMENTED AFTER DEMOLITION OF EXISTING STRUCTURES IS COMPLETED.	

CONSTRUCTION SEQUENCE															
PHASING AREA	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
1	CL ESC	RD GR TS													
2		CL ESC	SOL TS												
3			CL ESC	SOL TS											
4				CL ESC	SOL TS										
5					CL ESC	GR SOL TS									
6						CL ESC	SOL TS								
7							CL ESC	SOL TS							
8								CL ESC	SOL TS						
9									CL ESC	SOL TS					
10										CL ESC	SOL TS				
FINAL												FNC SMP	RDF	RST	RM LD

Date	Description	No.
Revisions		



WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.



04/11/2023

Date

Michael J. Finn

Professional Engineer NY Lic. No. 081473

LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture, and Geology, D.P.C.
One North Broadway, Suite 910
White Plains, NY 10601
T: 914.323.7400 F: 914.323.7401 www.langan.com

Project

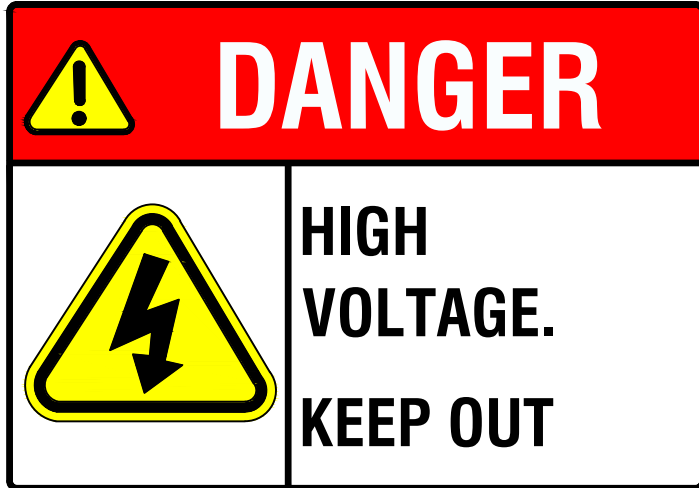
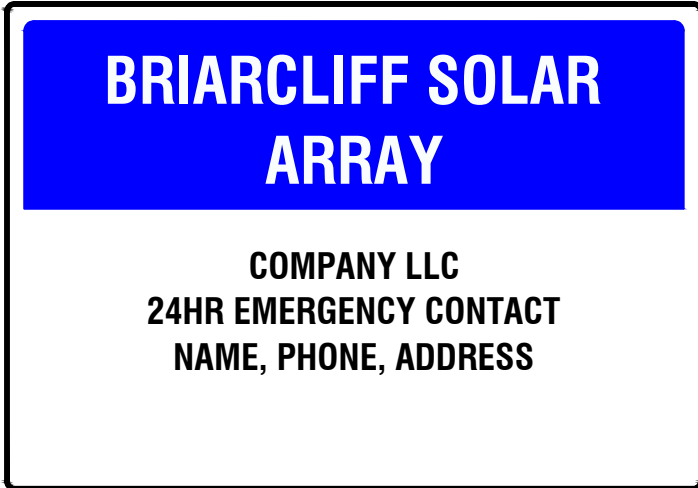
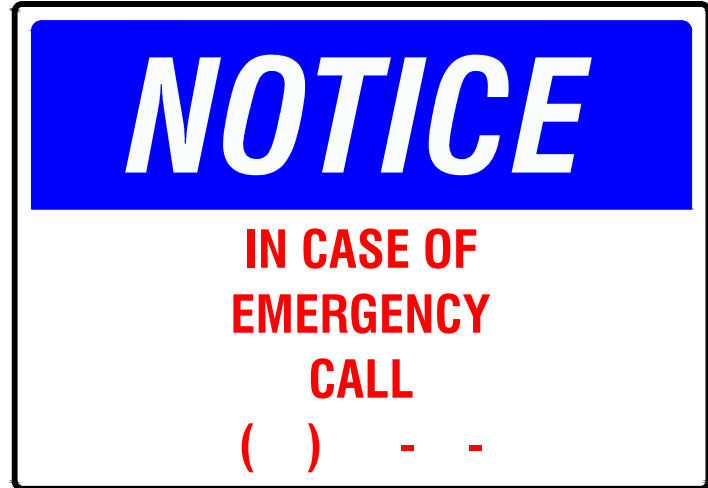
BRIARCLIFF SOLAR, LLC

VILLAGE OF BRIARCLIFF MANOR
WESTCHESTER COUNTY NEW YORK

Drawing Title

PHASING PLAN

Project No.	Drawing No.
190091001	CE104
Date	
04/04/2023	
Drawn By	
SF	Sheet 25 of 37
Checked By	
CZ	

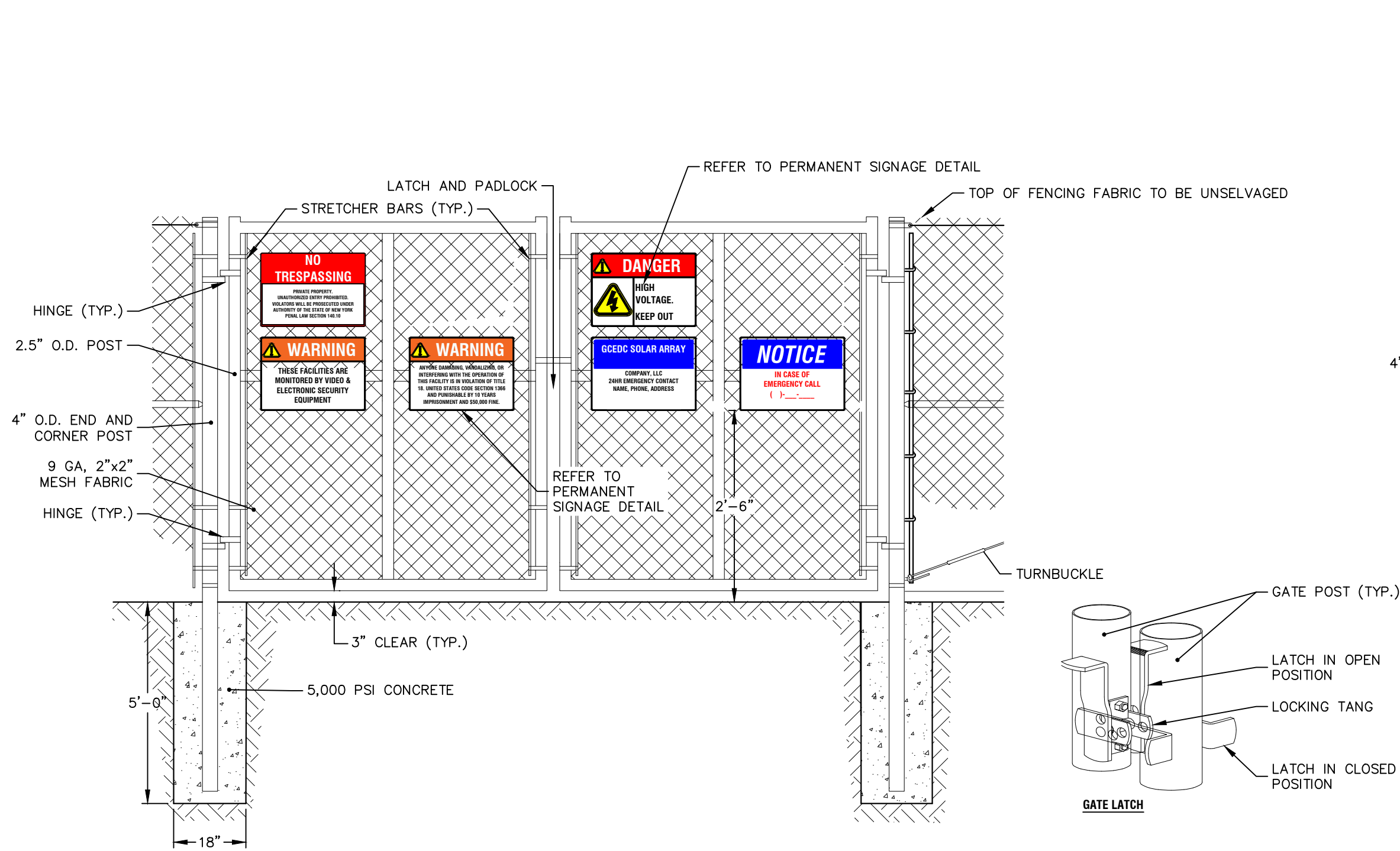


NOTES:

1. ALL SIGNS TO BE 18" x 24" IN SIZE
2. SIGNS SHALL BE UV RESISTANT AND IN COLOR. SIGN MATERIAL SHALL BE HDPE OR LIGHT GAGE GALVANIZED STEEL
3. SIGNS TO BE ATTACHED TO FENCING WITH PERMANENT FASTENERS.

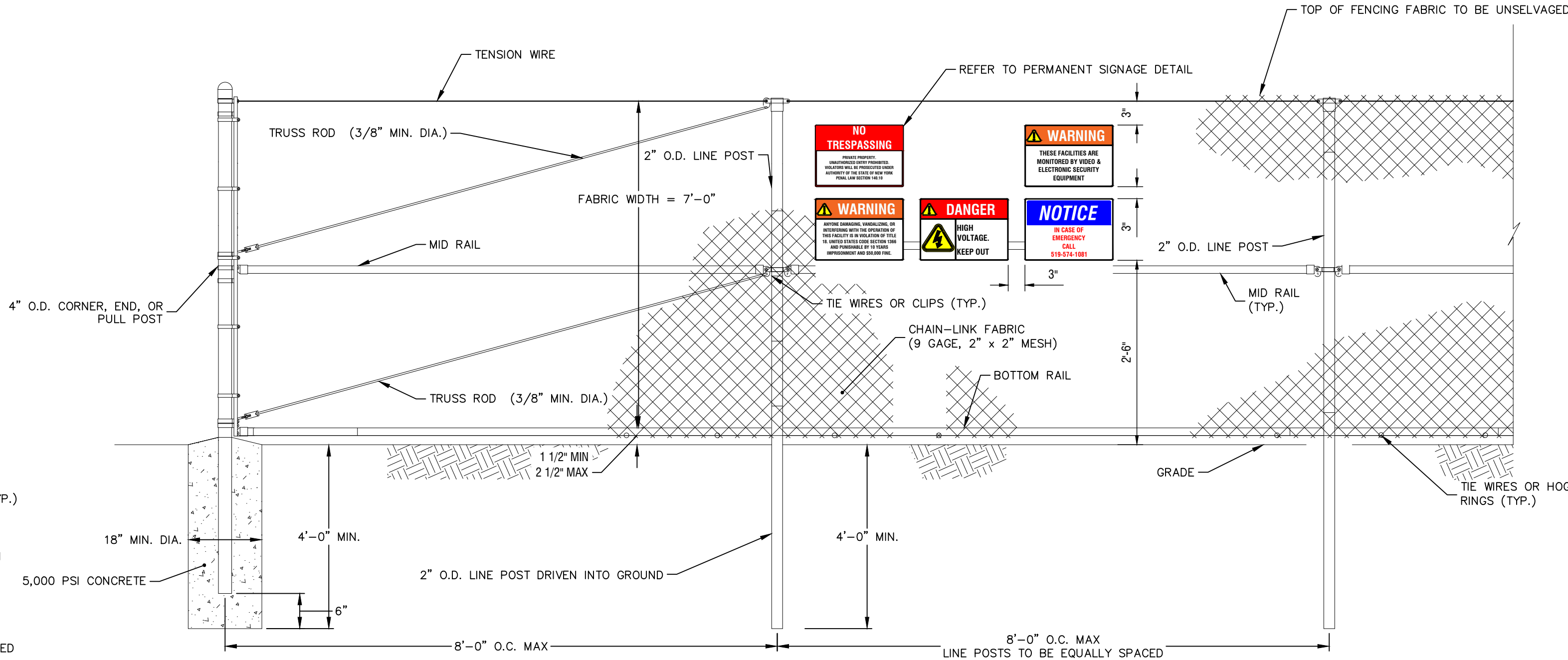
PROJECT SIGNAGE

SCALE: NTS



7' TALL 24' WIDE DOUBLE SWING GATE

SCALE: NTS



NOTES:

1. SIGNS SHALL BE INSTALLED IN GROUPS EVERY 300'
2. A 6" GAP AT THE BOTTOM OF THE FENCING FABRIC MAY BE INTRODUCED TO ALLOW FOR SMALL ANIMAL ACCESS.

7' HIGH SECURITY FENCE

SCALE: NTS

Date	Description	No.
------	-------------	-----

Revisions

WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.



04/11/2023
Date

Signature
PROFESSIONAL ENGINEER NY Lic. No. 081473

LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture, and Geology, D.P.C.
One North Broadway, Suite 910
White Plains, NY 10601
T: 914.323.7400 F: 914.323.7401 www.langan.com

Project

BRIARCLIFF SOLAR, LLC

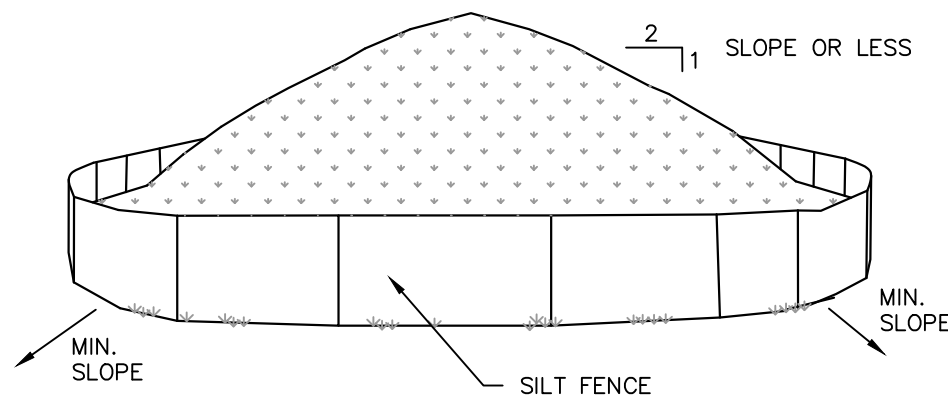
VILLAGE OF BRIARCLIFF MANOR
WESTCHESTER COUNTY NEW YORK

Drawing Title

DETAILS (1 OF 3)

Project No. 190091001	Drawing No. CS501
Date 04/04/2023	
Drawn By SF	
Checked By CZ	

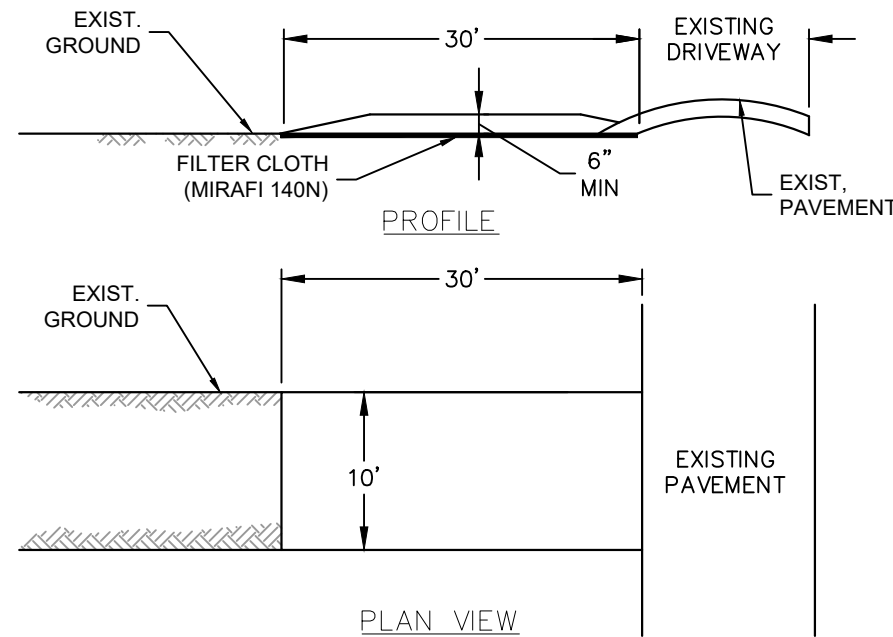
Sheet **26** of **37**



- NOTES:
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1V:2H.
 3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.
 4. SEE SPECIFICATIONS FOR INSTALLATION OF SILT FENCE.
 5. HAY BALES TO BE USED WHERE STOCKPILES ARE LOCATED ON PAVED AREAS.

TEMPORARY STOCKPILE

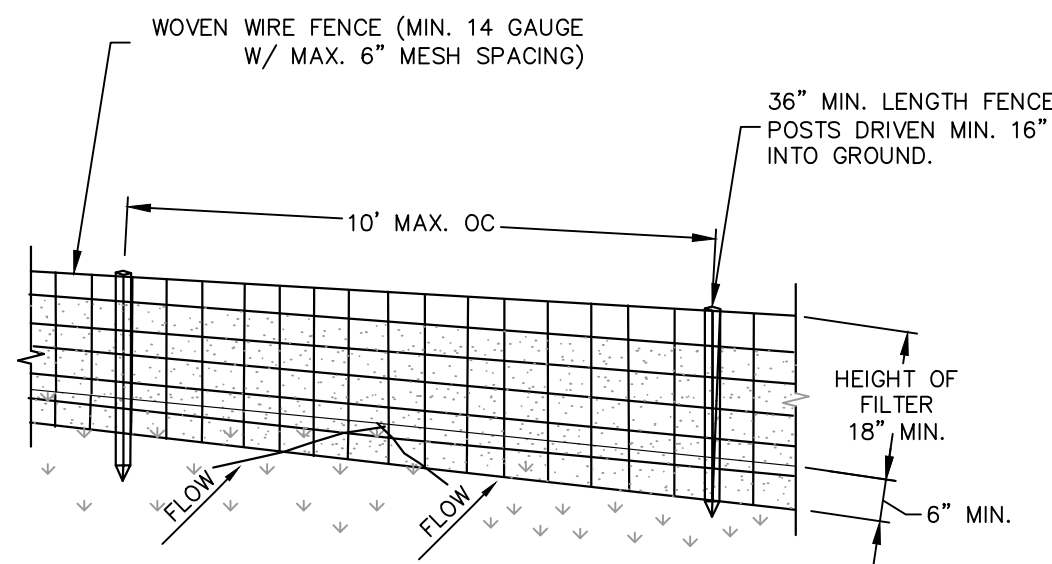
SCALE: NTS



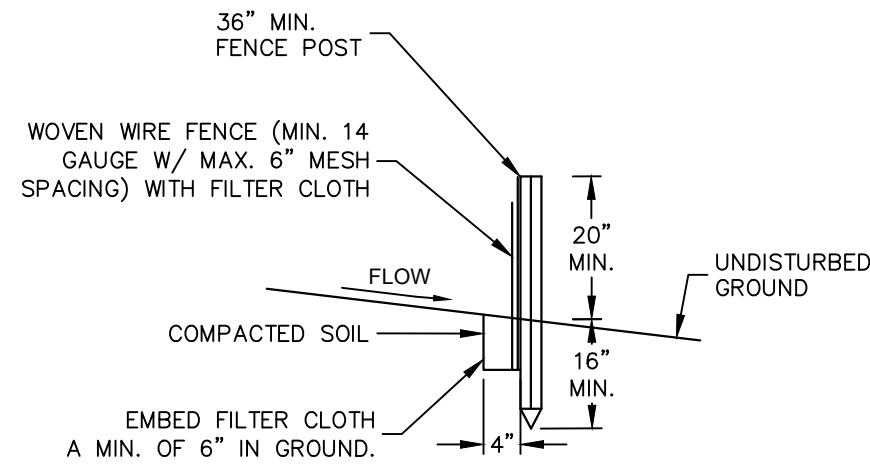
- CONSTRUCTION SPECIFICATIONS
1. STONE SIZE – USE 3" STONE (NYSDOT ITEM #623.11 SIZE DESIGNATION #2, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. THICKNESS – NOT LESS THAN SIX (6) INCHES.
 3. FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 4. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 5. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 6. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

ANTI-TRACKING PAD

SCALE: NTS



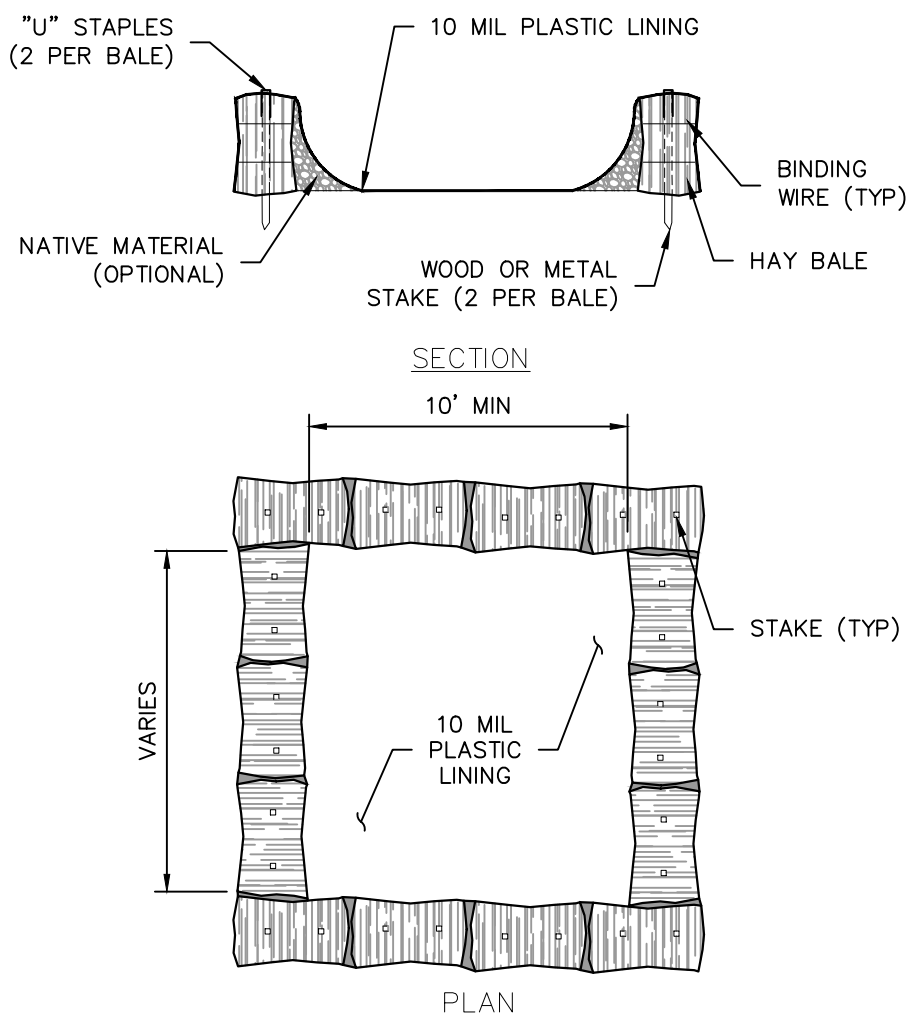
PERSPECTIVE VIEW



SECTION VIEW

SILT FENCE

SCALE: NTS



- NOTES:
1. CONCRETE WASHOUT SIGN TO BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 2. REMOVE HARDEN CONCRETE WHEN WITHIN 4" FROM TOP OF STRUCTURE.
 3. CONSTRUCT NEW FACILITIES ONCE CURRENT FACILITIES ARE TWO-THIRDS FULL.
 4. LINERS, HAY BALES, ETC. SHALL BE INSPECTED FOR DAMAGE. ANY DAMAGE SHALL BE REPAIR PROMPTLY.

ABOVE GROUND TEMPORARY CONCRETE WASHOUT FACILITY

SCALE: NTS

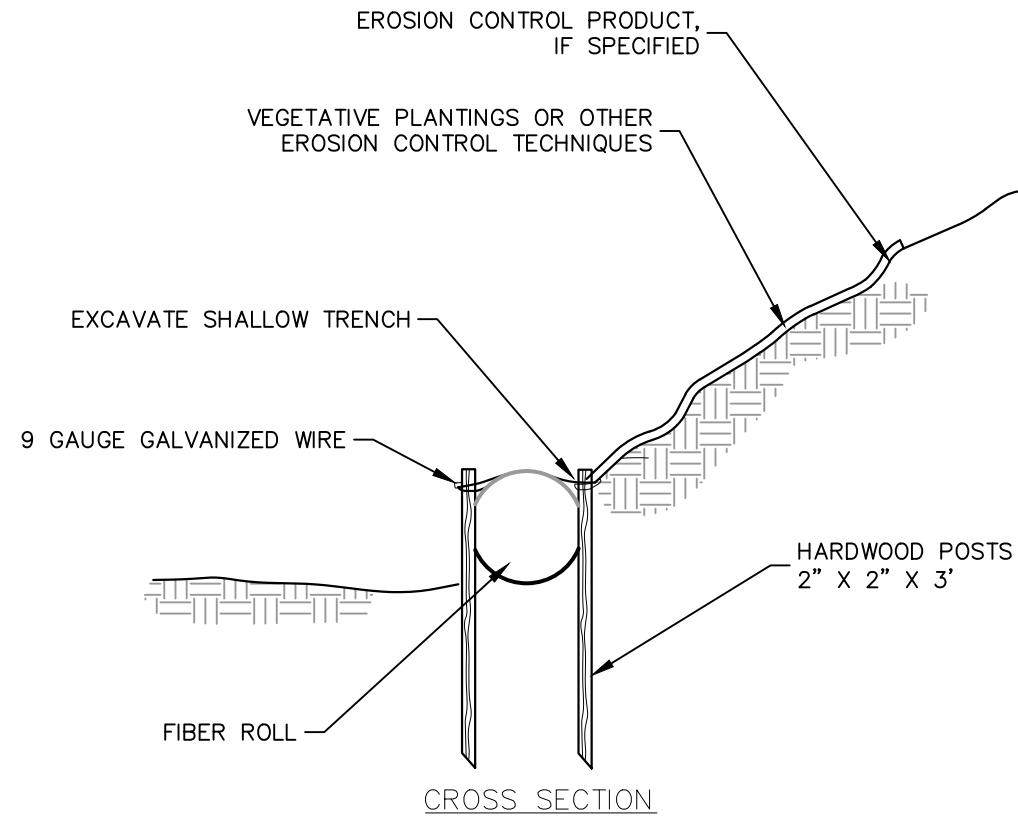
CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER "T" OR "U" TYPE, OR HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 14 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED.
4. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
5. PREFABRICATED UNITS SHALL BE GEOFAB, ENVROFENCE, OR APPROVED EQUIVALENT THAT MEETS THE MINIMUM REQUIREMENTS SHOWN.
6. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

DETAIL NOTES

1. INSTALLATION SHALL BE DONE IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL ("THE BLUE BOOK").
2. ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE DISTURBED AREA AS POSSIBLE, BUT AT LEAST 10 FEET FROM THE TOE OF A SLOPE STEEPER THAN 3H:1V, TO ALLOW FOR MAINTENANCE AND ROLL DOWN. THE AREA BEYOND THE FENCE MUST BE UNDISTURBED OR STABILIZED.
3. THE TYPE OF SILT FENCE SPECIFIED FOR EACH LOCATION ON THE PLAN SHALL NOT EXCEED THE MAXIMUM SLOPE LENGTH AND MAXIMUM FENCE LENGTH REQUIREMENTS SHOWN IN THE TABLE BELOW. IF A TYPE SILT FENCE IS NOT SPECIFIED ON THE PLANS, THE CRITERIA FOR STANDARD SILT FENCE CAN BE APPLIED.
4. SILT FENCE SHALL BE REMOVED AS SOON AS THE DISTURBED AREA HAS ACHIEVED FINAL STABILIZATION.

		SLOPE LENGTH/FENCE LENGTH (FT.)		
SLOPE	STEEPNESS	STANDARD	REINFORCED	SUPER
<2%	<50:1	300/1500	N/A	N/A
2-10%	50:1 TO 10:1	125/1000	250/2000	300/2500
10-20%	10:1 TO 5:1	100/750	150/1000	200/1000
20-33%	5:1 TO 3:1	60/500	80/750	100/1000
33-50%	3:1 TO 2:1	40/250	70/350	100/500
>50%	>2:1	20/125	30/175	50/250



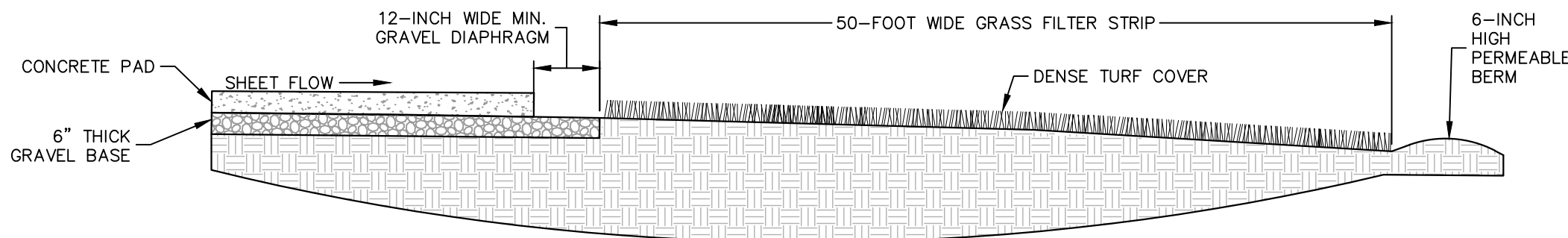
CROSS SECTION

CONSTRUCTION SPECIFICATIONS:

1. EXCAVATE A SHALLOW TRENCH SLIGHTLY BELOW BASEFLOW OR A 4" TRENCH ON SLOPE CONTOURS.
2. PLACE THE ROLL IN THE TRENCH AND ANCHOR WITH 2" X 2" POSTS PLACED ON BOTH SIDES OF THE ROLL AND SPACED Laterally ON 2' TO 4' CENTERS. TRIM THE TOP OF THE POSTS EVEN WITH THE EDGE OF THE ROLL, IN NECESSARY.
3. NOTCH THE POSTS AND TIE TOGETHER, ACROSS THE ROLL, WITH 9 GAUGE GALVANIZED WIRE OR 1/8" DIAMETER BRAIDED NYLON ROPE.
4. PLACE SOIL EXCAVATED FROM THE TRENCH BEHIND THE ROLL AND HAND TAMP. PLANT WITH SUITABLE HERBACEOUS OR WOODY VEGETATION AS SPECIFIED ELSEWHERE IN THE CONTRACT DOCUMENTS. VEGETATION SHALL BE PLACED IMMEDIATELY ADJACENT TO THE ROLL TO PROMOTE ROOT GROWTH INTO THE FIBER. HERBACEOUS VEGETATION, IF SPECIFIED, SHALL BE PLANTED INTO THE FIBER ROLL.

FIBER ROLL

SCALE: NTS



1. VEGETATED FILTER STRIP SHALL BE PLANTED OR SEEDED WITH A MIX OF GRASSES, WILDFLOWERS AND GROUND COVERS WELL-SUITED TO MOST-TO-DRY SOIL CONDITIONS.
2. ALL VEGETATION SHOULD BE SELF-SUSTAINING AND DROUGHT TOLERANT.
3. SEED MIX: ERNMx-113 "COMMERCIAL CONSERVATION MIX" OR EQUAL.
 - 25% FESTUCA RUBRA
 - 25% LOLIUM MULTIFORUM
 - 25% LOLIUM PERENNE, 'BLACKSTONE'
 - 25% LOLIUM PERENNE, 'BLACK PEARL'
 - CREeping RED FESCUE
 - ANNUAL RYEGRASS
 - PERENNIAL RYEGRASS, 'BLACKSTONE'
 - PERENNIAL RYEGRASS, 'BLACK PEARL'
- SEEDING RATE: 75-150 POUNDS
4. THE FIRST TEN FEET OF THE GRASS FILTER STRIP SHALL BE 2.0% MAX.

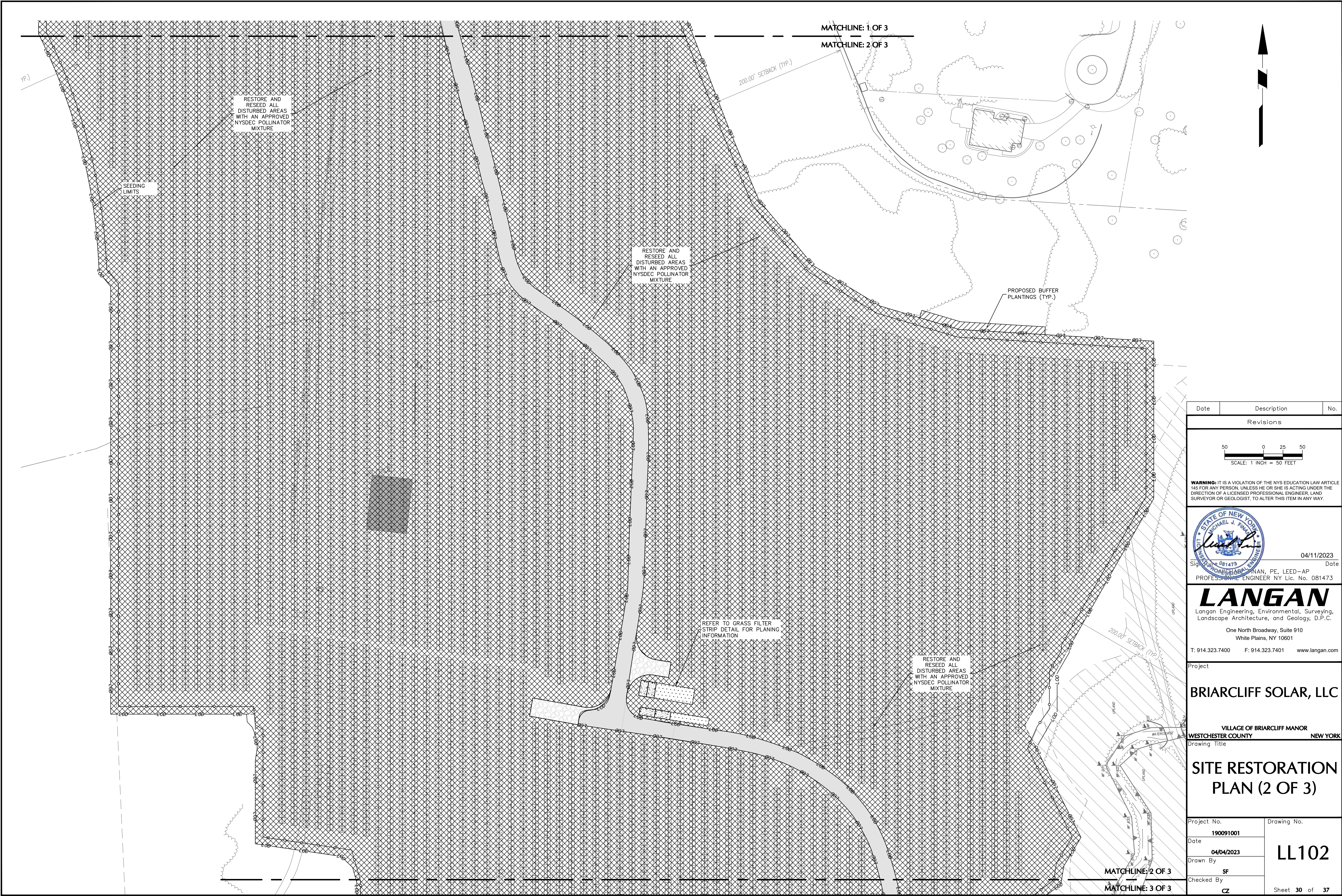
GRASS FILTER STRIP

SCALE: NTS

Date	Description	No.
Revisions		
WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.		
		
Signature: <i>Michael J. Finnegan</i>		Date: 04/11/2023
Michael J. Finnegan, PE, LEED-AP Professional Engineer NY Lic. No. 081473		
LANGAN Langan Engineering, Environmental, Surveying, Landscape Architecture, and Geology, D.P.C. One North Broadway, Suite 910 White Plains, NY 10601 T: 914.323.7400 F: 914.323.7401 www.langan.com		
Project		
BRIARCLIFF SOLAR, LLC		
VILLAGE OF BRIARCLIFF MANOR WESTCHESTER COUNTY NEW YORK Drawing Title		
DETAILS (2 OF 3)		
Project No. 190091001	Drawing No.	
Date 04/04/2023	CS502	
Drawn By SF	Sheet 27 of 37	
Checked By CZ		

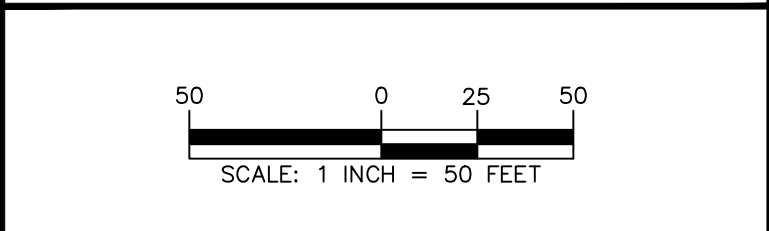


Date	Description	No.
Revisions		
50 0 25 50 SCALE: 1 INCH = 50 FEET		
WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.		
		04/11/2023
Signature: Michael J. Finnegan, PE, LEED-AP Professional Engineer NY Lic. No. 081473		Date
LANGAN Langan Engineering, Environmental, Surveying, Landscape Architecture, and Geology, D.P.C. One North Broadway, Suite 910 White Plains, NY 10601 T: 914.323.7400 F: 914.323.7401 www.langan.com		
Project		
BRIARCLIFF SOLAR, LLC		
VILLAGE OF BRIARCLIFF MANOR WESTCHESTER COUNTY NEW YORK		
Drawing Title		
SITE RESTORATION PLAN (1 OF 3)		
Project No. 190091001		Drawing No. LL101
Date 04/04/2023		
Drawn By SF		
Checked By CZ		
MATCHLINE: 1 OF 3		Sheet 29 of 37
MATCHLINE: 2 OF 3		



Date	Description	No.
------	-------------	-----

Revisions



WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.



04/11/2023
Date
Signature: 081473
MICHAEL J. FINNEN, PE, LEED-AP
PROFESSIONAL ENGINEER NY Lic. No. 081473

LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture, and Geology, D.P.C.
One North Broadway, Suite 910
White Plains, NY 10601
T: 914.323.7400 F: 914.323.7401 www.langan.com

Project

BRIARCLIFF SOLAR, LLC

VILLAGE OF BRIARCLIFF MANOR
WESTCHESTER COUNTY NEW YORK

Drawing Title

**SITE RESTORATION
PLAN (2 OF 3)**

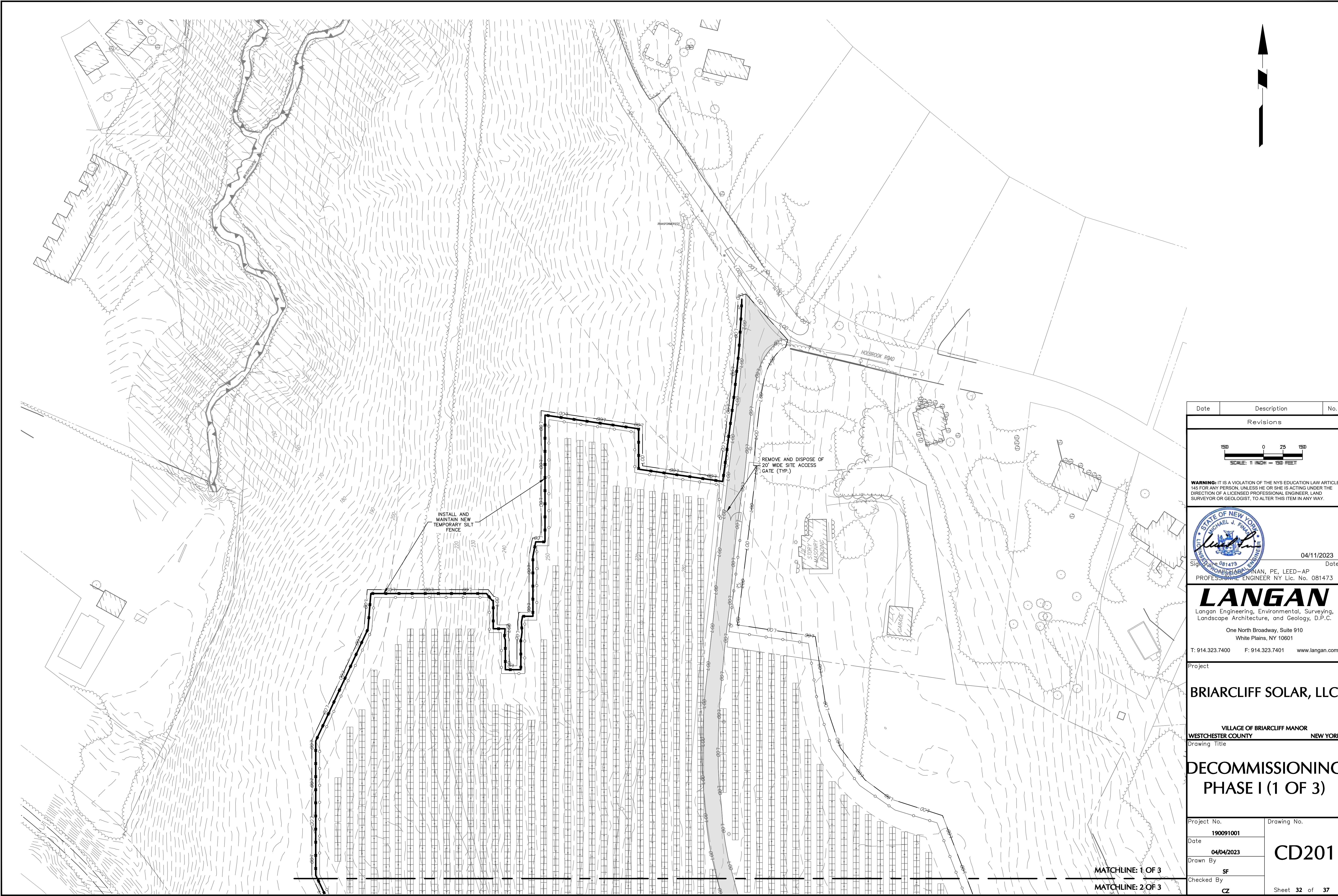
Project No. 190091001	Drawing No. LL102
Date 04/04/2023	
Drawn By SF	
Checked By CZ	Sheet 30 of 37

MATCHLINE: 2 OF 3

MATCHLINE: 3 OF 3



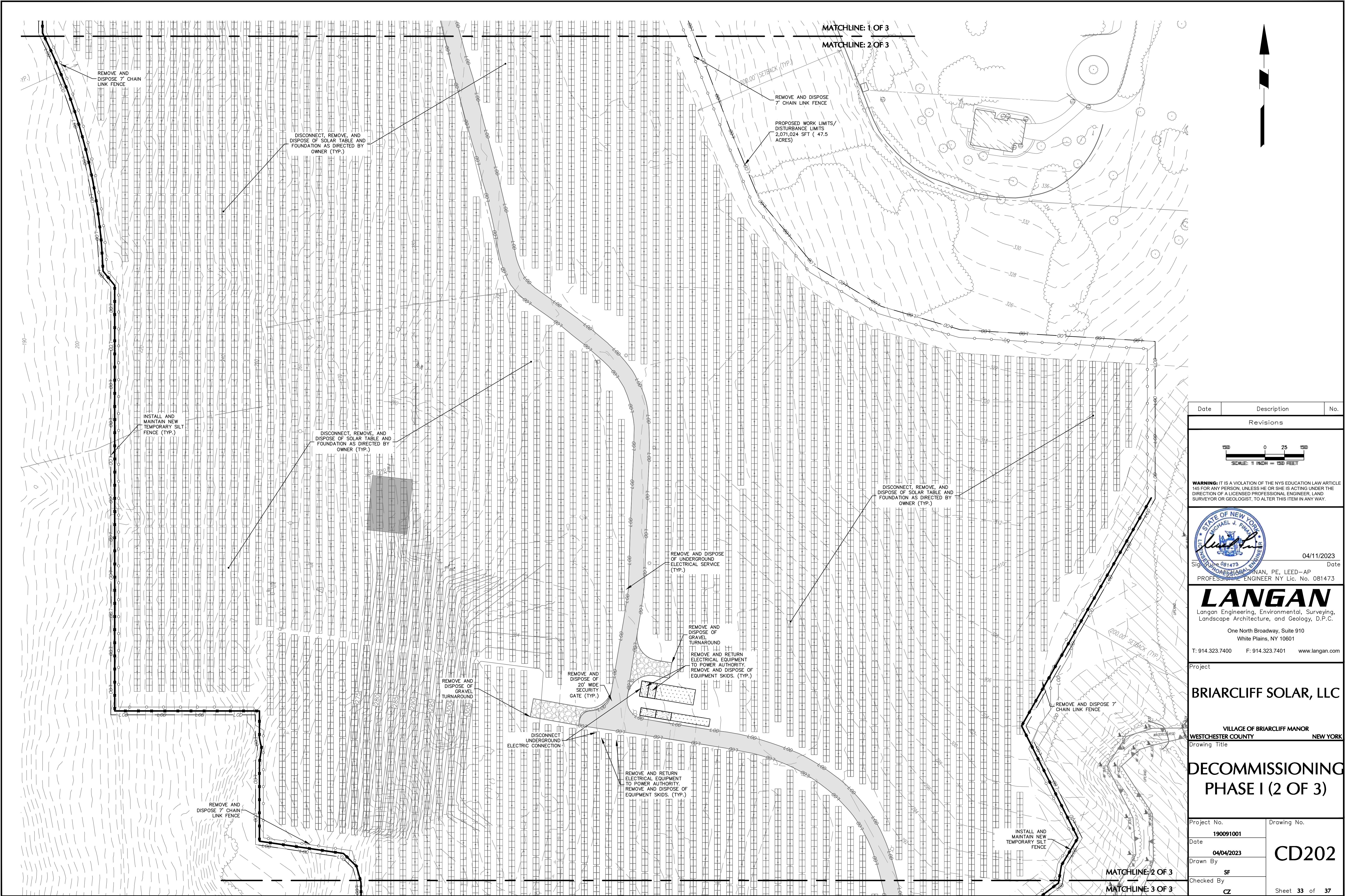
Date	Description	No.					
Revisions							
<div>50 0 25 50 SCALE: 1" INCH = 50 FEET</div> <p>WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.</p> <div><div></div><div>04/11/2023 Date Signature: MICHAEL J. FINNEGAN, PE, LEED-AP PROFESSIONAL ENGINEER NY Lic. No. 081473</div></div> <div>LANGAN Langan Engineering, Environmental, Surveying, Landscape Architecture, and Geology, D.P.C. One North Broadway, Suite 910 White Plains, NY 10601 T: 914.323.7400 F: 914.323.7401 www.langan.com</div> <div>Project BRIARCLIFF SOLAR, LLC VILLAGE OF BRIARCLIFF MANOR WESTCHESTER COUNTY NEW YORK Drawing Title SITE RESTORATION PLAN (3 OF 3)</div> <table border="1"><tr><td>Project No. 190091001</td><td rowspan="4">Drawing No. LL103 Sheet 31 of 37</td></tr><tr><td>Date 04/04/2023</td></tr><tr><td>Drawn By SF</td></tr><tr><td>Checked By CZ</td></tr></table>			Project No. 190091001	Drawing No. LL103 Sheet 31 of 37	Date 04/04/2023	Drawn By SF	Checked By CZ
Project No. 190091001	Drawing No. LL103 Sheet 31 of 37						
Date 04/04/2023							
Drawn By SF							
Checked By CZ							




Date	Description	No.
Revisions		
<div>1500 0 75 1500 SCALE: 1" INCH = 150' FEET</div>		
<p>WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.</p>		
<div></div>		04/11/2023
Signature: <i>Michael J. Finnegan</i> Michael J. Finnegan, PE, LEED-AP PROFESSIONAL ENGINEER NY Lic. No. 081473		
<div>LANGAN Langan Engineering, Environmental, Surveying, Landscape Architecture, and Geology, D.P.C. One North Broadway, Suite 910 White Plains, NY 10601 T: 914.323.7400 F: 914.323.7401 www.langan.com</div>		
Project		
BRIARCLIFF SOLAR, LLC		
VILLAGE OF BRIARCLIFF MANOR WESTCHESTER COUNTY NEW YORK		
Drawing Title		
DECOMMISSIONING PHASE I (1 OF 3)		
Project No. 190091001		Drawing No.
Date 04/04/2023		CD201
Drawn By SF		
Checked By CZ		
MATCHLINE: 1 OF 3 MATCHLINE: 2 OF 3		Sheet 32 of 37

MATCHLINE: 1 OF 3

MATCHLINE: 2 OF 3



Date	Description	No.
Revisions		
		
WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.		
		
04/11/2023		Date
PROFESSIONAL ENGINEER NY Lic. No. 081473		
LANGAN Langan Engineering, Environmental, Surveying, Landscape Architecture, and Geology, D.P.C. One North Broadway, Suite 910 White Plains, NY 10601 T: 914.323.7400 F: 914.323.7401 www.langan.com		
Project		
BRIARCLIFF SOLAR, LLC		
VILLAGE OF BRIARCLIFF MANOR WESTCHESTER COUNTY NEW YORK		
Drawing Title		
DECOMMISSIONING PHASE I (2 OF 3)		
Project No. 190091001		Drawing No.
Date 04/04/2023		CD202
Drawn By SF		
Checked By CZ		
Sheet 33 of 37		



PROPOSED WORK LIMITS/
DISTURBANCE LIMITS
2,071,024 SFT (47.5
ACRES)

DISCONNECT, REMOVE, AND
DISPOSE OF SOLAR TABLE AND
FOUNDATION AS DIRECTED BY
OWNER (TYP.)

INSTALL AND
MAINTAIN NEW
TEMPORARY SILT
FENCE (TYP.)

REMOVE AND DISPOSE OF
20' WIDE SITE ACCESS
GATE (TYP.)

REMOVE AND DISPOSE
7' CHAIN LINK FENCE

WOODEN GUIDERAIL ALONG ROAD

WOODEN GUIDERAIL ALONG ROAD

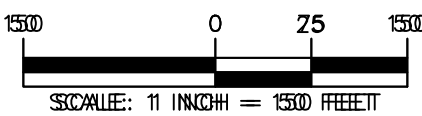
SHADOW BROOK LANE

MATCHLINE: 2 OF 3

MATCHLINE: 3 OF 3

Date	Description	No.
------	-------------	-----

Revisions



WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.



04/11/2023

Signature: 081473
Michael J. Finnegan, PE, LEED-AP
PROFESSIONAL ENGINEER NY Lic. No. 081473

LANGAN

Langan Engineering, Environmental, Surveying,
Landscape Architecture, and Geology, D.P.C.

One North Broadway, Suite 910
White Plains, NY 10601

T: 914.323.7400 F: 914.323.7401 www.langan.com

Project

BRIARCLIFF SOLAR, LLC

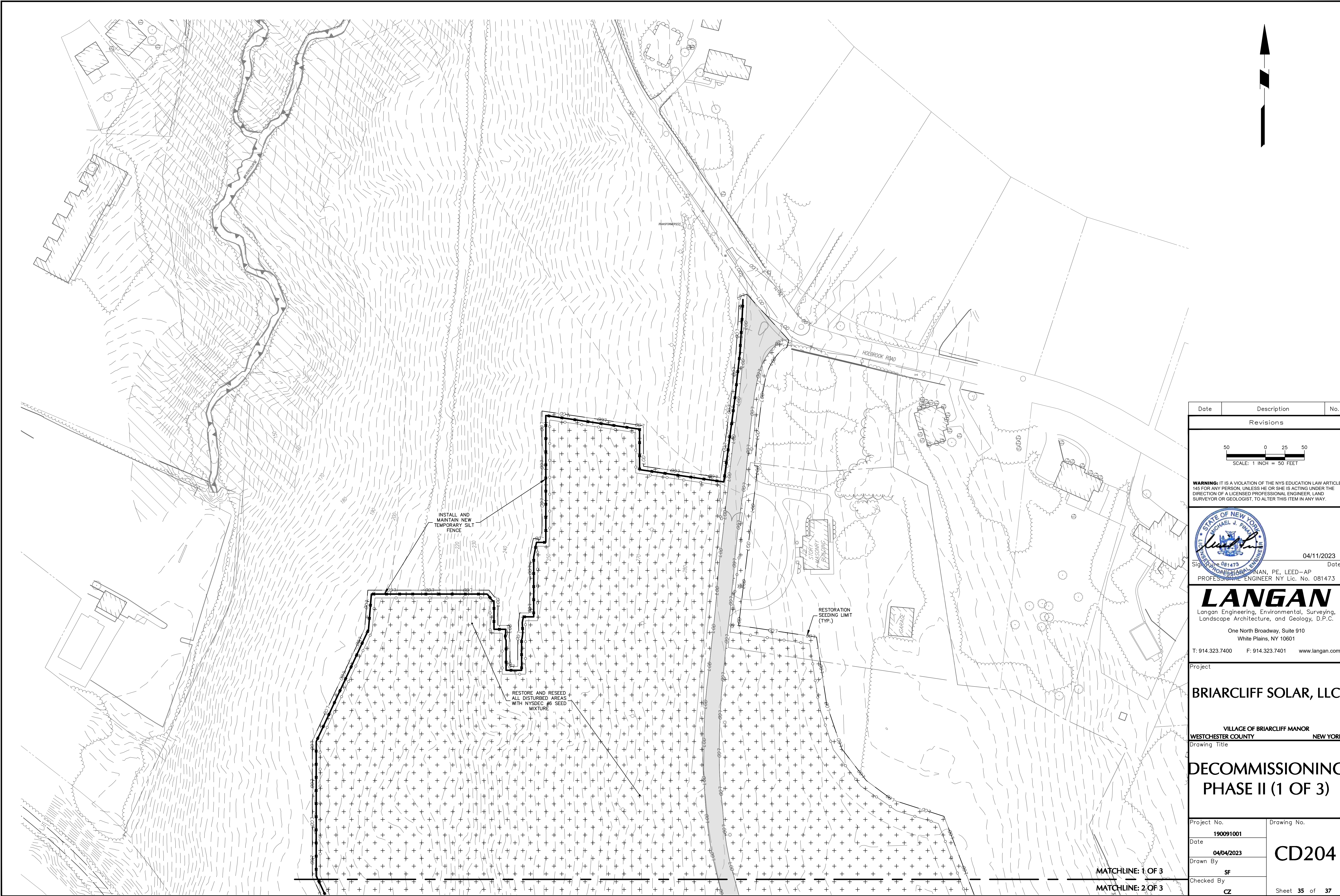
VILLAGE OF BRIARCLIFF MANOR
WESTCHESTER COUNTY NEW YORK

Drawing Title

**DECOMMISSIONING
PHASE I (3 OF 3)**

Project No. 190091001	Drawing No. CD203
Date 04/04/2023	
Drawn By SF	
Checked By CZ	

Sheet 34 of 37



Date	Description	No.
Revisions		



WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.



04/11/2023
Date
Michael J. Finnegan, PE, LEED-AP
PROFESSIONAL ENGINEER NY Lic. No. 081473

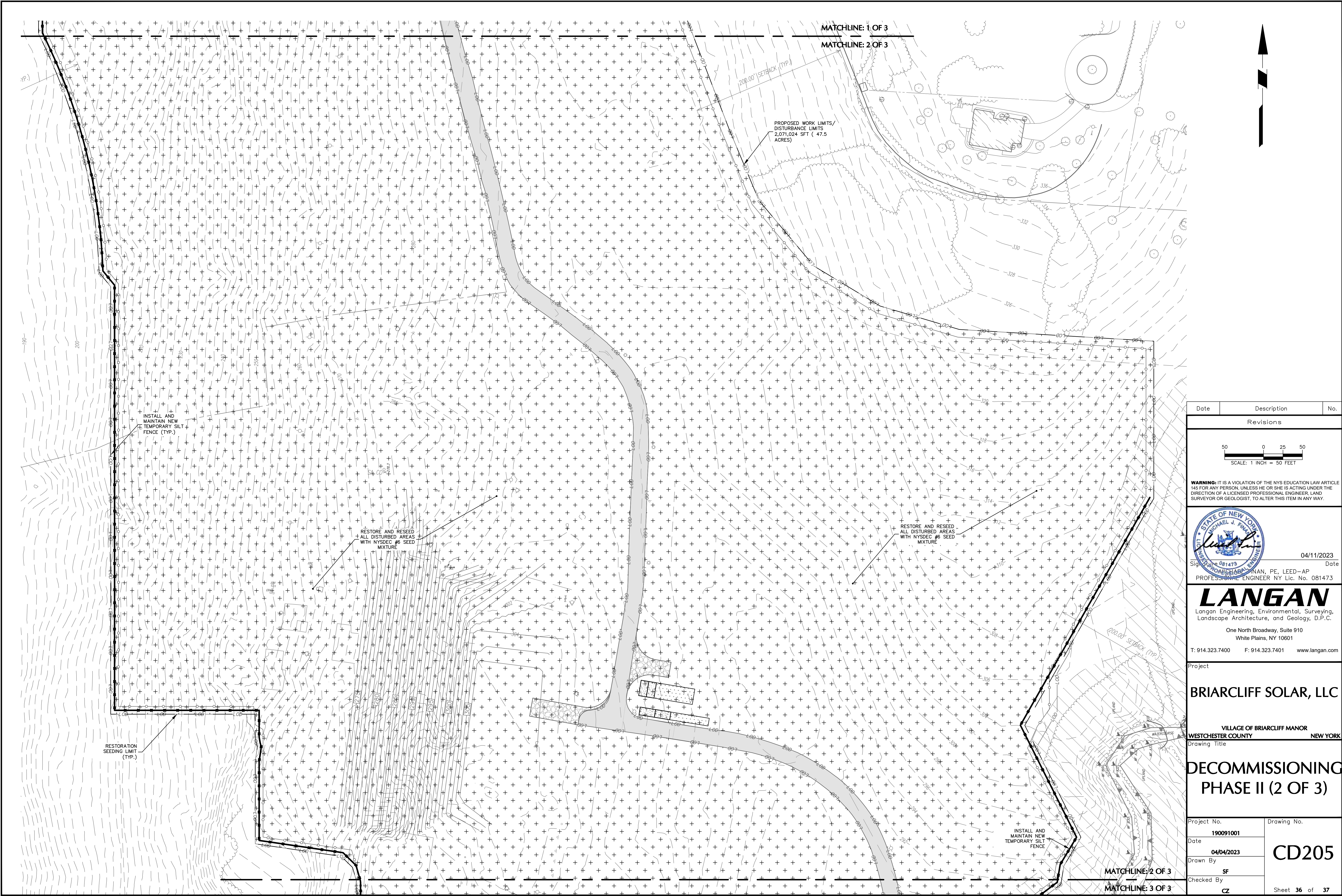
LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture, and Geology, D.P.C.
One North Broadway, Suite 910
White Plains, NY 10601
T: 914.323.7400 F: 914.323.7401 www.langan.com

Project
BRIARCLIFF SOLAR, LLC
VILLAGE OF BRIARCLIFF MANOR
WESTCHESTER COUNTY NEW YORK

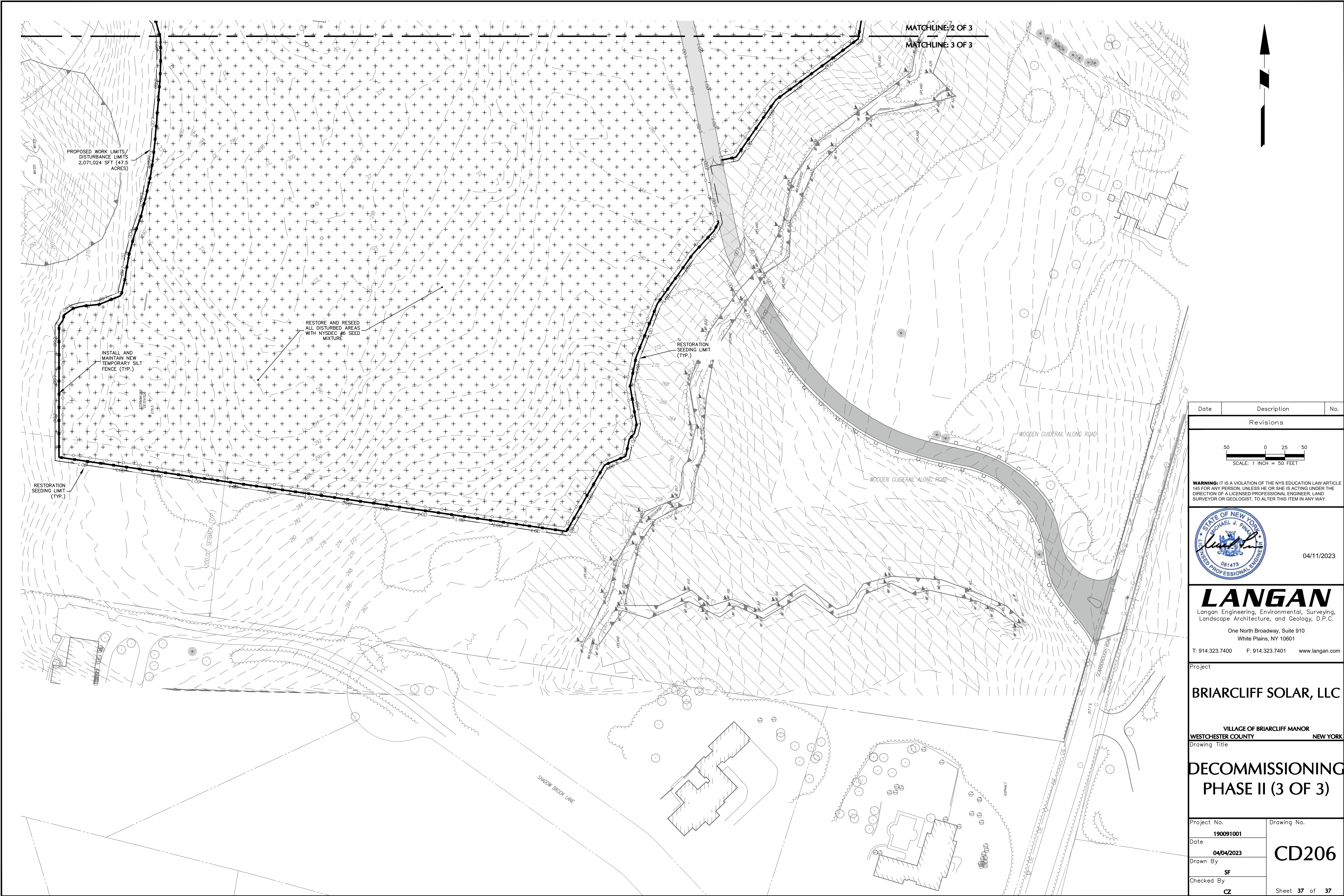
Drawing Title
**DECOMMISSIONING
PHASE II (1 OF 3)**

Project No. 190091001	Drawing No. CD204
Date 04/04/2023	Sheet 35 of 37
Drawn By SF	
Checked By CZ	

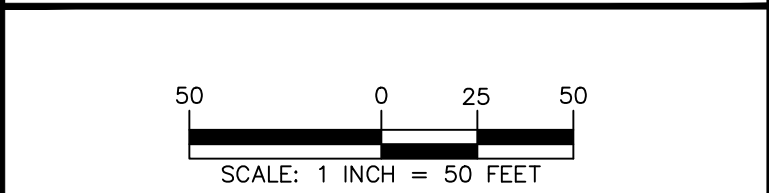
MATCHLINE: 1 OF 3
MATCHLINE: 2 OF 3



Date	Description	No.
Revisions		
50 0 25 50 SCALE: 1 INCH = 50 FEET		
WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.		
		
04/11/2023		Date
Michael J. Finnegan, PE, LEED-AP Professional Engineer NY Lic. No. 081473		
LANGAN Langan Engineering, Environmental, Surveying, Landscape Architecture, and Geology, D.P.C. One North Broadway, Suite 910 White Plains, NY 10601 T: 914.323.7400 F: 914.323.7401 www.langan.com		
Project		
BRIARCLIFF SOLAR, LLC		
VILLAGE OF BRIARCLIFF MANOR WESTCHESTER COUNTY NEW YORK		
Drawing Title		
DECOMMISSIONING PHASE II (2 OF 3)		
Project No. 190091001		Drawing No. CD205
Date 04/04/2023		Sheet 36 of 37
Drawn By SF		
Checked By CZ		



Date	Description	No.
Revisions		



WARNING: IT IS A VIOLATION OF THE NYS EDUCATION LAW ARTICLE 145 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, LAND SURVEYOR OR GEOLOGIST, TO ALTER THIS ITEM IN ANY WAY.



04/11/2023

LANGAN
Langan Engineering, Environmental, Surveying,
Landscape Architecture, and Geology, D.P.C.
One North Broadway, Suite 910
White Plains, NY 10601
T: 914.323.7400 F: 914.323.7401 www.langan.com

Project
BRIARCLIFF SOLAR, LLC
VILLAGE OF BRIARCLIFF MANOR
WESTCHESTER COUNTY NEW YORK
Drawing Title
**DECOMMISSIONING
PHASE II (3 OF 3)**

Project No. 190091001	Drawing No. CD206
Date 04/04/2023	
Drawn By SF	
Checked By CZ	

Preliminary Site Security Plan

for

Briarcliff Solar
345 Scarborough Road
Briarcliff Manor, NY 10510

Prepared For:

Briarcliff Solar LLC

Prepared By:

**Langan Engineering, Environmental, Surveying,
Landscape Architecture and Geology, D.P.C.**
One North Broadway, Suite 910
White Plains, New York 10601

Frank J D'Eufemia
Professional Engineer License No.090275

Christina Zolezi, PE
Professional Engineer License No. 087212

April 3, 2023
190091001

LANGAN

TABLE OF CONTENTS

	<u>Page No.</u>
1.0 PURPOSE	Error! Bookmark not defined.
2.0 SCOPE.....	3
3.0 RESPONSIBILITIES	3
3.1 PROJECT OPERATORS	3
3.2 SECURITY.....	3
3.3 EMPLOYEES AND VISITORS.....	3
3.4 EMERGENCY SERVICES	3
4.0 ACCESS ROADS.....	Error! Bookmark not defined.
5.0 SECURITY CAMERA SYSTEM.....	4
6.0 SOLAR ARRAY AND EQUIPMENT.....	Error! Bookmark not defined.
7.0 LIGHTING	5
8.0 CYBER SECURITY	5

1.0 PURPOSE

Site security is a fundamental part of operating any electric generation or transmission facility. This Preliminary Site Securing Plan (“Security Plan”) will provide an initial background for the intent of security measures to be implemented upon the permitting and construction of Briarcliff Solar (“Project”). This Security Plan will be revised upon review and discussion between the Project and the local Authority Having Jurisdiction, including emergency services.

The objective of this Security Plan is to outline the continuous safe operation of the Project through implementation of security measures, methods to minimize unauthorized access, and protection against vandalism to the Project facilities.

2.0 SCOPE

Compliance with the Security Plan is the responsibility of all team members as outlined in Section 3 – Responsibilities.

3.0 RESPONSIBILITIES

Compliance with this Security Plan is the responsibility of all parties listed below:

3.1 Project Operators

- Support and ensure compliance with this plan
- Provide the Security Vendor, Employees, Visitors, and the Emergency Services personnel with updated copies of this plan and ensure understanding of all items identified within
- Provide opportunities and encourage periodic review and continuous improvement of this plan

3.2 Security Vendor

- Support and comply with this plan
- Ensure that the plan is maintained and updated periodically with input and review of all parties

3.3 Employees and Visitors

- Support and comply with this plan
- Provide feedback of this plan to ensure continuous improvement

3.4 Emergency Services

- Maintain a copy of this plan with appropriate review by all team members
- Support and comply with this plan
- Provide feedback of this plan to ensure continuous improvement

4.0 ACCESS ROADS

The two access roads to the Project – Scarborough Road and Holbrook Road shall remain gated to restrict access to the general public. The gates will always remain closed except for when entering or existing the Project. For access by emergency services in the event of an emergency, Knox boxes with gate keys will be provided at each of the Project access roads.

Signage will be installed on the gates and around the perimeter setback along the Old Croton Aqueduct (“OCA”) notifying the public against trespassing and electrical hazards located within the Project. During the routine periodic inspections by the Project operators and the Security Vendor, if it is identified that unauthorized access by the public is occurring, additional site inspections will be initiated along with notifications to the local police.

5.0 SECURITY CAMERA SYSTEM

The Project intends to install a security camera system at each egress, which will be designed to provide coverage only within the Project facility, to deter unauthorized access. The security camera system data is anticipated to be remotely monitored by the contracted Security Vendor. In the case that unauthorized access is identified by remote monitoring, the Security Vendor will initiate contact with the local police department.

6.0 SOLAR ARRAY & EQUIPMENT

The Project will have two sets of perimeter fencing and site intrusion security. While each egress will remain gated, there will be perimeter fencing surrounding the Project facilities on each side of the access road throughout the site. The perimeter fencing on each side of the access road through the site will comprise of National Electric Safety Code (“NESC”) requirements to be seven feet (7’) in height and are being considered to have smaller, non-scalable mesh as an additional deterrent against unauthorized public access. Should persistent unauthorized public access occur, additional security measures such as additional security camera installations will be employed.

The Project facilities, including the solar arrays, inverters, and pad mount transformers will be equipped with panels or doors that seal tight/close and are equipped with locks. Each piece of equipment shall remain closed and locked at all times, except while under maintenance.

7.0 LIGHTING

Security lighting will be placed at each access road to deter unauthorized access and provide the Project Operators, Security Vendor, and/or Emergency Services with safe access to the Project through each access road.

In consideration of the neighboring residences, lighting for the solar arrays shall comprise of only safety lighting at each of the access gates to the perimeter fencing. The perimeter fencing lighting shall be equipped with either motion detectors or automatic lighting that will be designed to comply with the lowest tolerance of lighting available.

All Security lighting is to be routinely inspected and maintained by the Project Operators and Security Vendor.

8.0 CYBER SECURITY

Briarcliff Solar will comply with all local, state, and federal operating requirements regarding Cyber Security. All remotely operable and internet connected equipment shall be protected and monitored continuously, 24 hours, 365 day per year.