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June 18, 2021

BY OVERNIGHT DELIVERY AND E-MAIL

Mayor Steven A. Vescio and
Members of the Board of Trustees
Briarcliff Manor Village Hall
1111 Pleasantville Road
Briarcliff Manor, NY 10510

Re: Yeshivath Viznitz
Special Permit Application
235 Elm Street, Briarcliff Manor, NY

Dear Mayor Vescio and Village Trustees:

On behalf of Yeshivath Viznitz Dkhal Torath Chaim (the “Applicant” or “Yeshivah”) the lessee of the property located at 235 Elm Street (SBL: 98.19-2-11) (the “Premises”) in the Village of Briarcliff Manor, we respectfully submit this letter and enclosures to the Village Board of Trustees requesting Special Permit approval for the proposed adaptive reuse of the Premises for a Place of Worship/Religious School. The Applicant proposes renovations to the existing structures which previously supported the Pace University – Briarcliff Manor campus to support its private religious education institution for approximately 250 male students between the ages of 17 and 20 (the “Proposed Reuse”).

The Premises

The Premises is an approximately 37.16-acre parcel with driveway access on Elm Road approximately 350' feet east of Tuttle Road and approximately 0.5 miles from the NYS Route 9A entrance/exit at Pleasantville Road. The Premises is classified within the Village’s R4oB Zoning District (“R4oB District”). The Premises is currently owned by the Khal Torath Chaim of Rockland which is an affiliate of the Applicant. The Khal Torath Chaim of Rockland will lease the Premises to the Yeshivah.

The Premises is improved with 9 existing buildings, approximately 223 striped at grade parking spaces (plus approximately 12,798 s/f of unstriped, paved parking areas), and other recreational areas which previously supported the Pace University – Briarcliff Manor campus. The Premises was purchased by Pace University in or around 1977. Prior to Pace University, the campus supported the Briarcliff College for decades.

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The Village of Briarcliff Manor granted special permit approval to Pace University in 1978 (**Exhibit C**) to reuse of the Premises for Pace University's higher education use. Prior to the 1978 special permit, the Briarcliff College had operated at the Premises for decades with an approximate annual enrollment of up to 688 students. Pace University's 1978 special permit approval allowed an increase in academic operations, onsite housing, and student enrollment at the Premises beyond the former use. The 1978 approvals permitted an enrollment of up to 700 residential students on site with an additional 400 commuting students allowed to attend classes per day. A maximum of 324 available parking spaces were permitted on site to support the higher education use.

The Premises was subdivided in 1995 to create 4 new sites at the southeastern portion of the Premises. A copy of the 4-Lot Subdivision Plat prepared by Leo J. Carroll, P.E., L.S. dated December 5, 1995 (recorded in the Westchester County Clerk Land Records at Map # 25555) (the "1995 Subdivision Plat") is enclosed as **Exhibit E**. Three of the newly created sites (Lot 1: 280 South State Road; Lot 2: 268 South State Road; and Lot 3: 260 South State Road) were sold and developed with single family homes. The remaining lot (Lot 4) was retained by Pace University and re-incorporated into the Premises.

Pace University ceased operation at this campus in or around 2015 and the Premises was purchased by the Research Center on Natural Conservation Inc. in 2016. The Premises was subsequently purchased by the Khal Torath Chaim of Rockland in March 2021 for the intended use by the Yeshivah for its private higher education religious institution. A copy of the Deed from Research Center on Natural Conservation Inc. to Khal Torath Chaim of Rockland (recorded in the Westchester County Land Records at Control Number 610543530) is enclosed as **Exhibit F**.

Proposed Adaptive Reuse

The Applicant proposes to adaptively reuse the Premises and its existing structures for its private higher education religious institution. The Proposed Reuse constitutes a "Place of Worship"¹ which is a permitted special permit use in the R4oB District subject to approval by the Board of Trustees. The Applicant proposes to adaptively reuse the Premises as an additional campus to support the main campus in Monsey.

¹ The Village of Briarcliff Manor Code Section 220-2 defines "Place of Worship" as "A specially designed structure or consecrated space where individuals or a group of people, such as a congregation, come to perform acts of devotion, veneration, or religious study including, by way of example, a church, temple, synagogue, or mosque."

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The Yeshivah is a religious educational institution accredited by the Association of Advanced Rabbinical and Talmudic Schools (AARTS) with its main campus located in Monsey, New York. The Yeshivath Viznitz school was established in 1964 to provide higher education programs for men at the undergraduate and graduate levels. The Yeshivah's Briarcliff Manor campus is expected to operate at a much lesser capacity as the site was previously used by Pace University and Briarcliff College. The Yeshivah proposes an enrollment of approximately 250 students, most of which (approximately 200-220) will reside in an on-campus dormitory with the balance of students commuting. There will be approximately 40 faculty and staff members per shift who will commute to the Premises. No faculty or staff is expected to permanently reside on campus though short-term temporary housing accommodations will be available for certain faculty and guests. No students and minimal staff are expected to regularly arrive or depart the Premises by personal vehicle. Commuting students and staff will arrive and depart by bus or shuttle. The Applicant anticipates approximately 2-3 busses entering and exiting the site per day and approximately 4 shuttles/mini-vans entering and exiting the site per day.

The educational and worship activities would typically occur between 6am and 9pm daily. Students will study as a whole in the large hall with smaller breakout classes of 30-50 students in the individual lecture rooms twice a day. Breaks will also be provided throughout the day and meals will be prepared and served in the on-campus dining hall.

The only instances in which the public is expected to visit the Premises are during special events such as holiday gatherings and graduations. Parents of the students are welcome to visit the site on occasion though these visits tend to be infrequent and limited to special events and occasions. Generally, the Premises is not expected to receive regular visits by non-students/staff or otherwise be open to the public.

The Applicant does not propose the use of all 9 existing buildings. Rather, the Applicant proposes the reuse of 3 existing buildings in their entirety plus a portion of another building. The total space to be occupied equates to approximately 72,706 s/f of floor area. An annotated survey and Westchester County GIS Tax Parcel Viewer Aerial of the Premises are included as **Exhibit D**. The buildings that are proposed to be occupied are located mostly at the southeast corner of the Premises and a portion of the building located in the center of the Premises. A vegetated buffer exists between the buildings proposed to be occupied and any nearby residences. The buildings nearest Elm Road and Tuttle Road are not currently planned for use or occupancy. In the event that the Applicant proposes to increase or otherwise modify its proposed use and occupancy, the Applicant will return to the Village for the necessary review and approvals.

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The Applicant proposes to use the easternmost dormitory building, known as the Valley Dorm, to house its resident students. The Applicant proposes interior and exterior renovations to the existing 2-story, approximately 32,500 s/f Valley Dorm building including new windows, new flooring, and bathroom renovations. The Applicant does not propose to expand the size or footprint of this building. The other existing dormitory building is not currently proposed to be used.

The 2.5 story, 13,000 s/f building located to the northwest of the Valley Dorm, known as the Tead House, is proposed to be used for offices and temporary housing for faculty and staff. No major renovations or expansion are proposed for this building.

The existing glass and brick building located north of the Tead House will be used for classrooms, dining hall, study hall, and a synagogue. This building currently contains two floors plus a mezzanine space. Interior renovations to this building include the expansion of the third-floor mezzanine space to accommodate the construction of 4 classrooms. This expansion of the mezzanine space will result in the increased floor area of this building from 23,514 s/f to 26,676 s/f though there will be no increase in the size or footprint of the building.

The Applicant proposes to use the southernmost wing of the main building located at the center of the site known as Dow Hall. The two-story southern wing supports a first-floor pool area which will be used for the Yeshivah's religious rituals (Mikva) and regular student use. The second floor will be used for additional offices. The remainder of the main building and the entirety of the remaining buildings at the site are not proposed to be used, occupied, or renovated at this time.

A Traffic Opinion Letter prepared by Collier Consulting, Inc. dated June 17, 2021 is enclosed as **Exhibit G** which compares the traffic impacts of Proposed Reuse to the former Pace University use. This opinion relies upon actual traffic counts collected at the Premises on Wednesday, November 17, 2010 (from 9:00am to 1:00am and from 3:00pm to 6:30pm) and on Tuesday, November 23, 2010 (from 7:30am to 9:00am). This historical traffic data demonstrates that the prior Pace University use generated 174 trips (102 entering/72 exiting) during Peak AM Hour (8:00am to 9:00am) and 202 trips (59 entering/143 exiting) during Peak PM Hour (4:30pm-5:30pm). The Proposed Reuse is not anticipated to have a significant impact on the area roadways and will generate significantly less traffic than the former Pace University use and any other potential educational uses at the Premises.

The Applicant also encloses Preliminary Municipal Service Impact Study prepared by Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C. dated June

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18, 2021 as **Exhibit H** and a Preliminary Educational Resources Impact Study prepared by Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C. dated June 18, 2021 as **Exhibit I**. These reports conclude that the Proposed Reuse will not create any adverse impact on municipal resources such as emergency services and recreational facilities and will not have any adverse impact on the Briarcliff Manor Union Free School District. In fact, the Proposed Reuse is expected to create less overall impacts than other as-of-right redevelopment.

Special Permit Use Review

The Village of Briarcliff Manor recently adopted amended regulations controlling special permit uses. These regulations include general special permit standards and considerations in Section 220-6.C and specific standards for the Places of Worship special permit use in Section 220-6.J. The Applicant complies with each applicable standard as set forth herein. The proposed reuse therefore constitutes a permitted use and conforms with the existing character of the neighborhood and community.

Section 220-6.C: Application, public hearing, and general standards.

1. Such use will not prevent or substantially impair (i) the reasonable and orderly use of other properties in the neighborhood or (ii) the reasonable and orderly development of other properties in the neighborhood. The location and size of the use, including the nature and intensity of the proposed operations and traffic involved in or conducted in connection with it, the size of the site in relation to it, and the location of the site with respect to the type, arrangement and capacity of streets giving access to it, are such that it will be in harmony with the appropriate and orderly development of the neighborhood in which it is located.

The Proposed Reuse complies with this requirement. The adaptive reuse will not prevent or impair the reasonable or orderly use or development of the other properties in the neighborhood. The Premises has been historically developed and used for higher education purposes. The Applicant is proposing to reuse the Premises in a way that reduces the overall intensity of the operations from how it has previously been approved and used. The Applicant is not proposing any increase in the number or size of the buildings. The proposed use will also re-activate a property which has been dormant for years. The appropriately-scaled reoccupancy will be an improvement to the immediate community compared to the Premises currently unoccupied status.

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2. The location, nature and height of buildings, walls and fences, and the nature and extent of the landscaping and screening on the site, as existing or proposed, are such that the use will not hinder or discourage the appropriate development and use of adjacent land and buildings. Conservation of existing trees, especially specimen trees or trees of significant aesthetic value, will be given appropriate consideration.

The Proposed Reuse complies with this requirement. The Applicant is proposing to adaptively reuse the existing buildings and developed spaces to support its religious education operations. The Applicant is not proposing any site work or development which would give rise to a concern for conservation of trees. Any renovations or improvements will be limited to the interiors or facades of the existing structures.

3. Operations in connection with any special use will not be more objectionable to nearby properties by reason of noise, fumes, vibrations, lighting or flashing of lights, than would be the operations of any permitted use not requiring a special permit.

The Proposed Reuse complies with this requirement. The adaptive reuse is not anticipated to generate any offsite noise, fumes, vibrations, or lightings during operations or during renovations.

4. Parking areas will be of adequate size for the particular use properly located and suitably screened from any adjoining residential uses, and the entrance and exit drives shall be laid out so as to achieve maximum safety.

The Proposed Reuse complies with this requirement. The Applicant is not proposing any changes to the existing parking areas or driveways. All existing parking areas and internal driveways are situated and screened from the adjacent roadways or residential properties by the existing vegetated buffers. The Applicant anticipates very limited trips to and from the Premises due to the students primarily residing onsite with commuting students and staff arriving by bus or shuttle.

5. Each special use shall be of such character, intensity, size and location that in general it will be in harmony with the orderly development of the neighborhood in which the property is situated and will not be detrimental to the orderly development of adjacent neighborhoods.

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The Proposed Reuse complies with this requirement. The Proposed Reuse will be in harmony with the existing neighborhood as it includes the reoccupancy of a property that has historically been used for higher education purposes. The Applicant's reuse is expected to reduce the overall intensity of the operations at the Premises. The reuse is not expected to create any detriment to the orderly development of the adjacent areas as it will be maintaining the educational character of this site and does not propose any expansion to the existing buildings.

6. Each special use sought in or adjacent to a residential district shall be so located on the lot involved that it shall not impair the use, enjoyment and value of adjacent residential properties.

The Proposed Reuse complies with this requirement. The Proposed Reuse will not impair the use, enjoyment, or value of the adjacent properties since the proposed use is not introducing any significant change in use from how the site has historically been used and does not propose any additional buildings. The overall intensity of the use is anticipated to be reduced significantly from the site's previous uses.

7. The nature and intensity of a special use sought in or adjacent to a residential district and the traffic generated by it shall not be hazardous, incongruous or detrimental to the prevailing residential character of the neighborhood.

*The Proposed Reuse complies with this requirement. The Applicant's proposed operations are not expected to generate any significant traffic impacts. The majority of students will reside on campus in dormitories. Students and staff travelling to and from the site each day will arrive and depart by bus or shuttle. The Applicant anticipates approximately 2-3 busses entering and exiting the site per day and approximately 4 shuttles/mini-vans entering and exiting the site per day. Very few staff and no students are expected to arrive at the Premises by personal vehicle or maintain personal vehicles for everyday use. The Proposed Reuse is expected to generate minimal visitors during regular operations. Special events such as holidays and graduations may be held infrequently though these operations are still expected to generate less traffic and trips than the previously approved and operated educational use. A Traffic Opinion Letter prepared by Collier Consulting, Inc. dated June 17, 2021 is enclosed as **Exhibit G** which concludes that the Proposed Reuse is not anticipated to have a significant impact on the area roadways and will generate significantly less traffic than the former Pace University use.*

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8. Each special use in a business district shall be harmonious with the district in which its location is sought, shall not create undue pedestrian or vehicular traffic hazards and shall not include any display of signs, noise, fumes or lights that will hinder the normal development of the district or impair the use, enjoyment and value of adjacent land and buildings.

The Proposed Reuse complies with this requirement. The Premises is classified within the R4OB District which is not a business district.

9. Such use will be in harmony with and promote the general purposes and intent of this chapter.

The Proposed Reuse complies with this requirement. The Applicant's use possesses the unique and distinct characteristics described herein which make this proposed reoccupancy suitable for this specific location and neighborhood.

10. The health, safety, welfare, comfort, convenience and order of the Village will not be adversely affected by the proposed use.

The Proposed Reuse complies with this requirement. The Proposed Reuse will reactivate the currently vacant site with a use similar to Premises' historical use while reducing the overall intensity and environmental impacts related to traffic and municipal services.

11. The site is particularly suitable for the location of such use in the community. The site area is sufficient, appropriate and adequate for the use and the reasonably anticipated operation thereof.

The Proposed Reuse complies with this requirement. The Premises has been development and used for higher educational uses for decades. The proposed reoccupancy will revitalize this property with a similar use that has previously been approved and operated though at a lesser scale and with less off-site impacts.

12. Environmentally constrained areas, consisting of slopes above 25%, wetlands and wetland buffers, streams and bodies of water, shall be deducted from the buildable area of any parcel being considered for a special permit. The Village Board may allow for environmentally constrained lands to be restored to the buildable area of a parcel, if an

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environmental resource mitigation plan is provided which documents specific mitigation measures, protection techniques, restoration or rehabilitation methods, either on or off-site, that adequately protects the environmental resource.

The Proposed Reuse complies with this requirement. The Applicant does not propose any site disturbance or redevelopment of the Premises. No environmental resources are expected to be impacted by the Proposed Reuse.

13. The architectural features and design that may be within the public view at any time of year shall be of impressive quality, attractive, and harmonious in style and appearance to other structures within the site as well as to any neighboring properties.

The Proposed Reuse complies with this requirement. The Applicant is not proposing any new structures or increasing the visibility of any existing structures from offsite. The existing structures are largely shielded from visibility by the existing buffers and the distance from the roadway. The existing structures are nevertheless of impressive quality, attractive, and harmonious in style and appearance to the other structures on site and the neighboring properties.

14. The Village Board of Trustees shall not consider any application for a special permit when the property owner of the property under consideration for the special permit is in violation of the Village Code pursuant to Chapter 90 Building Construction and Fire Protection, or if such owner, or applicant, is delinquent with fees for Village services or utilities, taxes, penalty, or interest due at the time of requesting the special permit.

The Proposed Reuse complies with this requirement. There are no open violations or delinquent fees or taxes at the Premises.

Section 220-6.J: Special uses in resident districts:

1. Places of worship. Includes parish houses and religious school buildings, subject to the following:
 - a. Sanctuary buildings and buildings accommodating public assembly shall be setback a minimum of 100' from all property lines.

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The Proposed Reuse complies with this requirement. The Applicant does not propose any new buildings or structures. Any existing building to be used for sanctuary purposes or public assembly are not located within 100' of any property line.

- b. Accessory residential buildings shall be setback a minimum of 100' from all property lines.

*The Proposed Reuse complies with this requirement. The Valley Dorm is located approximately 184' from the nearest property lines. The enclosed site plans depict the Valley Dorm and other dormitory near the southern and eastern property lines. However, those property lines are based on the 1995 Subdivision Plat and the adjacent property has been reincorporated into the main Premises as shown on the Westchester County GIS Tax Parcel Viewer Aerial enclosed as **Exhibit D** and the enclosed survey.*

- c. Off-street parking shall be provided in accordance with §220-12.

The Proposed Reuse complies with this requirement. The parking requirement applicable to "Places of Worship" found in the Village of Briarcliff Manor Zoning Code Section 220-12 is "1 space for each 3 fixed seats, or 1 space for each 100 square feet of floor area in places without fixed seats." The Applicant proposes an approximately 4,905 s/f study hall/synagogue with no fixed seats. This reoccupancy will be supported by the approximately 223 striped at grade parking spaces as well as approximately 12,798 s/f of additional paved parking spaces capable of supporting up to 79 additional striped parking spaces. Applying the parking requirement applicable to the floor area, the Applicant is required to provide 50 parking spaces. Thus, the Applicant will provide 182 parking spaces beyond what is required by Section 220-12 of the Village Zoning Code. Similarly, the onsite parking is expected to sufficiently support the Proposed Reuse due to the very limited personal vehicles occupying the site as detailed herein.

- d. The entrance to all off-street parking lots shall be from an internal driveway, and not from a public street.

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The Proposed Reuse complies with this requirement. The Premises currently has one main driveway providing access to the site from Elm Road. All off-street parking areas are located within the site and accessed only internally. No off-street parking lots are proposed to have any direct access to or from a public street.

- e. Ancillary uses such as emergency temporary shelter, schools, food pantries or soup kitchens, clothing or food drop boxes or nonaffiliated social service activities (AA, drug rehabilitation, counseling services, etc.) or leasing spaces to other outside groups or organizations is prohibited, unless specifically authorized by the Village Board or provided by State or Federal law.

The Proposed Reuse complies with this requirement. The Proposed Reuse does not include any of these ancillary uses outside of the proposed educational and religious worship uses. Insofar as the Village determines that the proposed school use requires authorization by the Board of Trustees, the Applicant respectfully requests such authorization for the reasons stated herein.

- f. In areas proximate to neighboring residences, noise resulting from public address systems, bells, chimes, clarions, calls to prayer, etc., shall adhere to the Village Noise Ordinance (Chapter 146) to the extent practicable, and to respect the peace and tranquility of adjacent residential neighbors.

The Proposed Reuse complies with this requirement. The Applicant does not propose any public address systems, bells, chimes, clarions, or other calls to prayer that is expected to impair the peace and tranquility of the adjacent residential neighbors. The Applicant will comply with the Village of Briarcliff Manor Noise Ordinance.

- g. Exterior site lighting shall not exceed 0 foot-candles along all property lines, except at the entrance driveway, where it shall not exceed 1 foot-candle.

The Proposed Reuse complies with this requirement. Exterior site lighting is not expected to exceed 0 foot-candles along the property lines or 1 foot-candle at the existing driveway.

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- h. During holidays, special occasions and when higher than normal attendance is anticipated, special traffic control measures shall be implemented, in coordination with the Village of Briarcliff Manor Police Department and recorded in the special permit.

The Proposed Reuse complies with this requirement. The Applicant does not anticipate traffic volumes necessitating special traffic controls during regular activities or its infrequent events or holidays. When the potential for high traffic volumes have been presented at the Applicant's other locations, the Applicant has hired traffic specialists to prepare for and coordinate additional traffic flows. The Applicant would utilize similar methods and coordinate with the Briarcliff Manor Police Department if the need arises.

- i. The requirement to provide a market study pursuant to §220-6 D (3) shall not apply, unless otherwise required as part of the SEQRA review process.

The Proposed Reuse complies with this requirement.

- j. The requirement to provide a fiscal impact analysis pursuant to §220-6 D (7) shall not apply unless otherwise required as part of the SEQRA review process.

The Proposed Reuse complies with this requirement.

SEQRA:

The Proposed Reuse constitutes a Type II Action under the New York State Environmental Quality Review Act (“SEQRA”) as it involves the “reuse of a...commercial structure...where the...commercial use is permitted under the applicable zoning law or ordinance....”² Type II Actions do not require further SEQRA review as they have been found categorically to not have significant adverse impacts on the environment.³ The Applicant nevertheless encloses its Short Environmental Assessment Form (“SEAF”) hereto in accordance with the Village’s requirements.

² 6 NYCRR 617.5(c)(18).

³ 6 NYCRR 617.5(a).



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Conclusion:

The Applicant respectfully submits that the Proposed Reuse complies with the applicable special permit use standards and presents no adverse impact to the neighborhood or community. The Proposed Reuse constitutes a significant reduction in the intensity of the use and operations as previously approved by the Village and operated at the Premises for decades. The reoccupancy provides a benefit to the community by reusing the currently vacant 37-acre Premises with a use which generates little to no environmental impacts or increases in vehicle trips, demand on utilities and municipal resources, or population increase.

In support of this Application, please find 8 copies of this letter with the following documentation:

- Exhibit A: Special Permit and Site Plan Application Form with Code of Ethics Certification;
- Exhibit B: Short Environmental Assessment Form;
- Exhibit C: Village of Briarcliff Manor Board of Trustees Resolution dated July 20 & September 7, 1978;
- Exhibit D: Annotated Survey and Westchester County GIS Tax Parcel Viewer Aerial;
- Exhibit E: 4-Lot Subdivision Plat prepared by Leo J. Carroll, P.E., L.S. dated December 5, 1995 (recorded in the Westchester County Clerk Land Records at Map # 25555) (the "1995 Subdivision Plat");
- Exhibit F: Deed from Research Center on Natural Conservation Inc. to Khal Torath Chaim of Rockland (recorded in the Westchester County Land Records at Control Number 610543530);
- Exhibit G: Traffic Opinion Letter prepared by Collier Consulting, Inc. dated June 17, 2021;
- Exhibit H: Preliminary Municipal Service Impact Study prepared by Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C. dated June 18, 2021; and
- Exhibit I: Preliminary Educational Resources Impact Study prepared by Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C. dated June 18, 2021.

Also enclosed are two checks: one in the amount of \$350 representing the Village's Special Permit Application review fee and one in the amount of \$5,000 representing a combined escrow deposit for the Special Permit and Site Plan Application reviews. A check in the amount of \$500 is being submitted under separate cover representing the Site Plan Application review fee.



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The Applicant also encloses 8 copies of the following documents:

- Topographic Survey of 235 Elm Road, Briarcliff Manor, NY prepared by Summit Land Surveying P.C. dated May 29, 2021;
- Site Plan prepared by Hudson Engineering and Consulting, P.C. dated June 17, 2021; and
- Yeshivath Viznitz Architectural Floor Plans prepared by Max Parangi Architects, P.C. dated June 17, 2021.

The Applicant looks forward to appearing before the Board of Trustees at its next available meeting for review of this application. Should the Board of Trustees or Village Staff have any questions in the interim, please feel free to contact the undersigned. Thank you in advance for your consideration.

Very truly yours,

Anthony B. Gioffre III

Anthony B. Gioffre III

Enclosures

cc: Client
Max Parangi Architects, P.C.
Hudson Engineering and Consulting P.C.
Collier Consulting, Inc
Langan Engineering, Environmental, Surveying, Landscape Architecture & Geology
D.P.C.
Summit Land Surveying P.C.

EXHIBIT A

Village of Briarcliff Manor**PLANNING BOARD APPLICATION**

1. For Approval of: Subdivision Site Plan Special Permit Rezoning Wetland Permit
 Sign Permit Steep Slopes Permit Mandatory Tree Planting Plan

2. Location of Property (Address): 235 Elm Road, Briarcliff Manor, NY 10510

Section 98 Plate 19 Block 2 Lot 11 Zoning District R40B

3. Name & Address of Property Owner: Khal Torath Chaim of Rockland (c/o Yakov David Rosenberg)
 Phone # 845 731 3764

Fax # _____
 e-mail: mail@ydrosenberg.com

4. Name & Address of Applicant: Yeshivath Viznutz Dkhal Torath Chaim (c/o Yakov David Rosenberg)
 Phone # 845 731 3764

Fax # _____
 e-mail: mail@ydrosenberg.com

5. Name & Address of Representative: Cuddy & Feder LLP (c/o Daniel Patrick, Esq.)
 (Architect/Attorney/Engineer)

Phone # 914 761 1300
 Fax # 914 761 5372
 e-mail: dppatrick@cuddyfeder.com

6. Name & Address of Contractor: N/A
 Phone # N/A

Fax # _____
 e-mail: _____

7. Nature of Work: New Building Addition Alteration Subdivision Site Plan

8. Please describe in detail: Applicant proposes to adaptively reuse the subject property as Place of Worship which includes a private religious education institution for approximately 250 students. The proposal includes the reuse and minor renovations to 3 existing buildings and a portion of a 4th building.

9a. Square Footage of Parcel: 37.16 acres 9b. Square Footage of Building: see enclosed survey

10a. Preliminary layout covers: 37.16 acres 10b. Approximate Number of Lots: 1

11. Submission of Final Subdivision Plat: Entire Preliminary Layout Sections N/A

12. Preliminary Layout covers the entire holding of the applicant: Yes No N/A

13. All streets, highways & parks shown on Preliminary Plat to be dedicated to public: Yes No N/A

14. Waivers of Requirements of the Land Subdivision Regulations requested: Yes No N/A

15. If answer to #14 is yes, list waivers and reasons why such requirements should be waived:
 N/A

16. Clearance obtained per Village Environmental Quality Review Law Yes No

17. Estimated cost of construction: \$ +/- \$3,000,000

PLEASE PROVIDE **EIGHT (8)** PAPER COPIES OF THIS APPLICATION AND **EIGHT (8)** COMPLETED SETS OF **FOLDED** PLANS AND SPECIFICATIONS **COLLATED** AND REMIT TO THE FOLLOWING BY NOON OF THE SUBMISSION DATE **AND** AN ELECTRONIC COPY OF THE ENTIRE SUBMISSION EMAILED TO THE VILLAGE CLERK AT cdennett@briarcliffmanor.org

Eight (8) sets to:

Village of Briarcliff Manor,
1111 Pleasantville Road,
Briarcliff Manor, NY 10510

WHICH WILL BE DISTRIBUTED TO:

Ed Nolan, Planning Board Chairperson;
Michael Gelardi, Planning Board Member;
Richard Pastore, Planning Board Member;
Andrew Tung, Planning Board Member;
Brian Crowley, Planning Board Member;
Krista Mastrocola, Alternate Planning Board Member;
Christine Dennett, Village Clerk;
David Turiano, Village Engineer

THE INFORMATION PROVIDED IS ONLY INTENDED TO SERVE AS A GUIDE TO THE REQUIREMENTS AS LISTED IN THE ZONING ORDINANCE OF THE VILLAGE OF BRIARCLIFF MANOR. THE APPLICATION FEE ACCOMPANYING AND REQUIRED BY THIS APPLICATION IS BASED ON RESOLUTION ADOPTED BY THE VILLAGE BOARD OF TRUSTEES. THE FILING AND ENDORSEMENT OF THIS APPLICATION IS AN ACKNOWLEDGEMENT OF THE FEE SCHEDULE AND CONSTITUTES MUTUAL WRITTEN AGREEMENT BETWEEN THE APPLICANT AND THE VILLAGE.

BY SIGNING THIS APPLICATION, I AFFIRM MY UNDERSTANDING WITH RESPECT TO THE PAYMENT OF PLANNING AND LEGAL FEES ATTRIBUTABLE TO THE WITHIN APPLICATION AND HEREBY AUTHORIZE THE VILLAGE'S PLANNING AND LEGAL CONSULTANTS TO FORWARD DIRECTLY TO ME, FOR INFORMATIONAL PURPOSES, COPIES OF THEIR INVOICES FOR WORK PERFORMED IN CONNECTION WITH THE REVIEW OF MY APPLICATION, WHICH FEES ARE TO BE CHARGED TO THE VILLAGE BUT PAID FROM MY ESCROW ACCOUNT ESTABLISHED FOR SUCH PURPOSE, IN ACCORDANCE WITH CHAPTER 122, ARTICLE II OF THE VILLAGE OF BRIARCLIFF MANOR CODE, THE SCHEDULE OF FEES DOCUMENT THAT I HAVE RECEIVED ALONG WITH THIS FORM OF APPLICATION. IN THE EVENT I AM REPRESENTED BY LEGAL COUNSEL IN CONNECTION WITH THIS APPLICATION. I SPECIFICALLY CONSENT TO THE VILLAGE'S PLANNING AND LEGAL CONSULTANTS FORWARDING COPIES OF THEIR INVOICES DIRECTLY TO ME AND SIMULTANEOUSLY TO MY LEGAL COUNSEL, WHOSE NAME AND ADDRESS IS PROVIDED ABOVE.

I AFFIRM THAT THE STATEMENTS MADE ON THIS APPLICATION ARE TRUE. THIS AUTHORIZES THE PLANNING BOARD AND ITS AGENTS TO ENTER UPON THE SUBJECT PROPERTY FOR THE PURPOSE OF PROCESSING THIS APPLICATION REQUEST.


Signature of Owner 6/16/21

Signature of Applicant 6/16/21



CODE OF ETHICS

Pursuant to Chapter 27 of the Code of the Village of Briarcliff Manor it is the policy of the Village of Briarcliff Manor and the purpose of this local law to establish standards and guidelines for the ethical conduct of its officials, employees and consultants. Though assurance of such conduct will continue to rest primarily on personal integrity and community vigilance, these standards are another step toward ensuring a) the highest caliber of public administration for the Village, b) government decisions arrived at impartially and free of conflict of interests, and c) public confidence in Village government. It is also the purpose of this chapter to protect Village officials, employees and consultants from unwarranted assaults on their integrity by separating real conflict from the inconsequential.

Pursuant to Section 27-4, the Village Manager shall cause a copy of the Code of Ethics to be distributed to each applicant for a change of zoning, variance, special permit, site plan approval, subdivision or other permission, pursuant to the zoning and planning regulations of the Village, shall disclose with the application the name, nature, and extent of the interest of any Village employee, official or consultant in the application, or in the applicant.

CERTIFICATION	
<u>I, DAVID ROSENBERG</u> PRINT NAME	<u>OF 15 ELYON RD</u> STREET ADDRESS
<u>MONSEY NY 10540</u> CITY, STATE AND ZIP CODE	
acknowledge that I have received Chapter 27 of the Code of the Village of Briarcliff Manor, "Code of Ethics".	
Date: <u>10/10/21</u>	
Position/Title: <u>PRESIDENT</u>	
Signature: <u>[Signature]</u>	

See Chapter 27 of the Village Code (attached)

EXHIBIT B

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

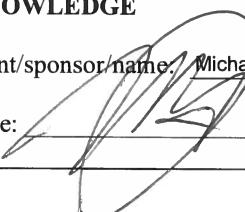
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

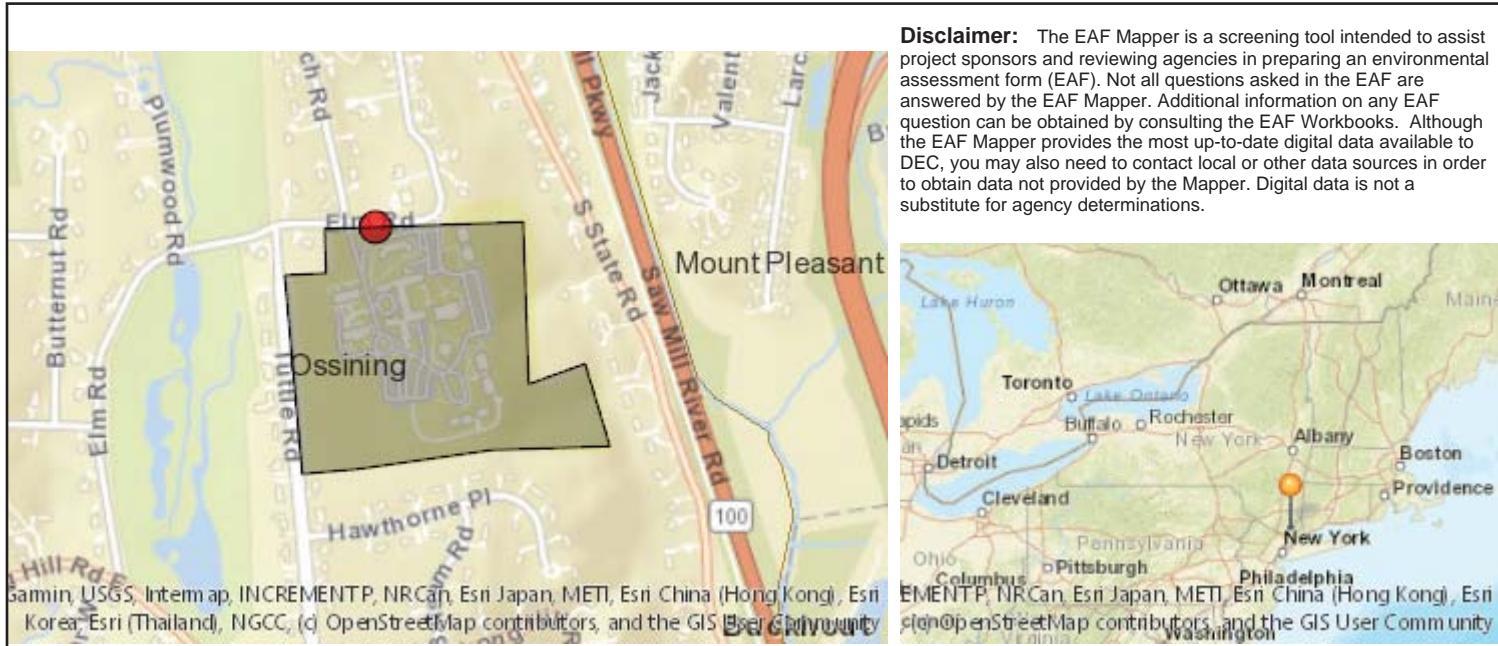
Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information

Name of Action or Project: Site Plan and Special Permit Submission			
Project Location (describe, and attach a location map): 235 Elm Road			
Brief Description of Proposed Action: Site Plan and Special Permit approval for the proposed adaptive reuse of the Premises for a Place of Worship. The Applicant proposes renovations to the existing structures which previously supported the Pace University – Briarcliff Manor campus to support its private higher education religious institution for approximately 250 students.			
Name of Applicant or Sponsor: Hudson Engineering & Consulting, P.C.	Telephone: (914) 909-0420 E-Mail: Michael@hudsonec.com		
Address: 45 Knollwood Road, Suite 201			
City/PO: Elmsford	State: New York	Zip Code: 10523	
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Village Board of Trustee and Planning Board		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action? b. Total acreage to be physically disturbed? c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		37.1 acres 37.1 acres 37.1 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action: 5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input checked="" type="checkbox"/> Other(Specify): Religious and Educational Institution <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ Existing connections to remain _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ Existing connections to remain _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:			
<input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?			<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES
16. Is the project site located in the 100-year flood plan?			<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,			<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES
a. Will storm water discharges flow to adjacent properties?			<input checked="" type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:			<input checked="" type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:			<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:			<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:			<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE			
Applicant/sponsor name: Michael Stein P.E.		Date: 6/17/2021	
Signature: 		Title: President	



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	No
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

EXHIBIT C

Pace Univ.
File

RESOLUTION

BRIARCLIFF CAMPUS OF PACE UNIVERSITY

JULY 20 & SEPTEMBER 7, 1978

Upon motion made by Mr. Wetzel, seconded by Mrs. Zinke, and unanimously carried, the following resolution was adopted:

WHEREAS, Pace University is the owner of certain real properties purchased from the Briarcliff College, and the lessee of other real properties owned by the Dormitory Authority of the State of New York, all located on the southerly side of Elm Road and the easterly side of Tuttle Road, consisting of 39.31 acres of land improved with school buildings, dormitories, athletic facilities, parking areas and roadways, known on the Village Assessment Map as the following:

Section 4 Plate 28 Block 21 Lot 33
Section 4 Plate 29 Block 21 Lot 10
Section 4 Plate 29 Block 21 Lot 32
Section 4 Plate 29 Block 21 Lot 32A
Section 4 Plate 30 Block 21 Lot 33

which premises, prior to their purchase by Pace University on April 14, 1977, had been operated as a college by Briarcliff College; hereinafter sometimes referred to as the Briarcliff Campus; and

WHEREAS, pursuant to the site plan approval granted to Briarcliff College on November 21, 1967, and a master plan for parking which Briarcliff College furnished, only 188 parking spaces on the Briarcliff Campus are presently permitted; and

WHEREAS, by a letter dated March 10, 1978, Pace University made application to the Village of Briarcliff Manor for permission to increase the number of parking spaces permitted to be maintained on the Briarcliff Campus; and

WHEREAS, said application was duly referred by the Village Board of Trustees to the Village Planning Board; and

WHEREAS, Pace University has met with and held discussions with the Village Planning Board with respect to said application and has furnished two further letters, dated May 19 and June 9, 1978, addressed to the Chairman of the Village Planning Board; and

WHEREAS, the Village Planning Board held public informational meetings on said application on May 9, 1978 and June 6, 1978; and

WHEREAS, the Village Planning Board submitted its recommendation in a report dated June 9, 1978, to the Village Board of Trustees, which report outlines the history of growth and expansion of the Briarcliff Campus and summarizes the review procedures followed by the Village Planning Board in coming to its recommended conclusions; and

WHEREAS, the Village Board of Trustees, upon due notice, held a public hearing on June 15, 1978 on said application, at which time Pace University requested that said three communications, to wit, said letters dated March 10, May 19, and June 9, 1978, together with the attachments and enclosures that accompanied same, be treated both 1) as an application for a special permit in accordance with Section 4(B) of the Village of Briarcliff Manor Zoning Ordinance, to permit the expansion of the Briarcliff Campus for academic use, increased utilization of existing housing and enrollment, and expanded parking, and 2) as a proposed master plan for the development of the Briarcliff Campus; and

WHEREAS, the above mentioned documents included a map entitled "Plan of Briarcliff Campus, Pace University, Elm Road, Briarcliff Manor, New York, Proposed Additional Parking, scale 1" = 50' revised June 2, 1978, prepared by E.J. Hurley, Reg. Architect #4466", hereinafter referred to as the Site Plan; and

WHEREAS, at said public hearing on June 15, 1978, all interested persons were given the opportunity to appear and be heard, which said meeting was adjourned to June 29, 1978, at which public discussion was continued; and said Village Board of Trustees also conducted public work sessions on June 19, 1978 and July 6, 1978; and said Village Board of Trustees also engaged in public discussion on July 20, 1978 at which time it acknowledged receipt of additional information from Pace University that had been requested by letter of June 30, 1978; and

WHEREAS, at said public hearings and discussions a number of Village residents who owned property situated in the vicinity of Elm Road, Tuttle Road, South State Road and other roads, expressed their concerns over (1) increased intensity of the operation of the Briarcliff Campus; (2) increased traffic involved in or conducted in connection with the operation of the Briarcliff Campus and the effect of such increased traffic on the access streets to the Briarcliff Campus causing a hazard to public safety; (3) a diminution in the value of their property; and, (4) a change in the character of their neighborhood, attributable to the change in the nature of the Briarcliff Campus from a primarily residential school to a residential and commuter school; and

WHEREAS, the Village Board of Trustees inquired into the intensity of Pace University's proposed use of the Briarcliff Campus, and took note of the fact that the maximum number of students ever enrolled at the Briarcliff Campus when it was operated by Briarcliff College was 688 in 1968, at which time only senior students and those with a certain grade average were allowed to have automobiles on campus, and that only when enrollment had dropped to 325 were all students who wished to do so allowed to have automobiles on campus; and

WHEREAS, the Village Board of Trustees notes that many of the students residing on the Briarcliff Campus do not attend classes there, but attend classes at other Pace University campuses; and

WHEREAS, during the continued public hearing on June 29, 1978, Pace University requested that the cumulative number of non-resident students attending classes at the Briarcliff Campus on a single day should not be restricted to less than 850; and

WHEREAS, the Village Board of Trustees has carefully considered said application in relation to Section 4(B) of the Village Zoning Ordinance; and

WHEREAS, the Village Board of Trustees finds that such use of the Briarcliff Campus encompassed within said application would be inconsistent with both the Master Plan of the Village and an R40 single family residence zone district (while the prior use of the Briarcliff Campus by Briarcliff College was not inconsistent with said Master Plan or the R40 single family zone district); and

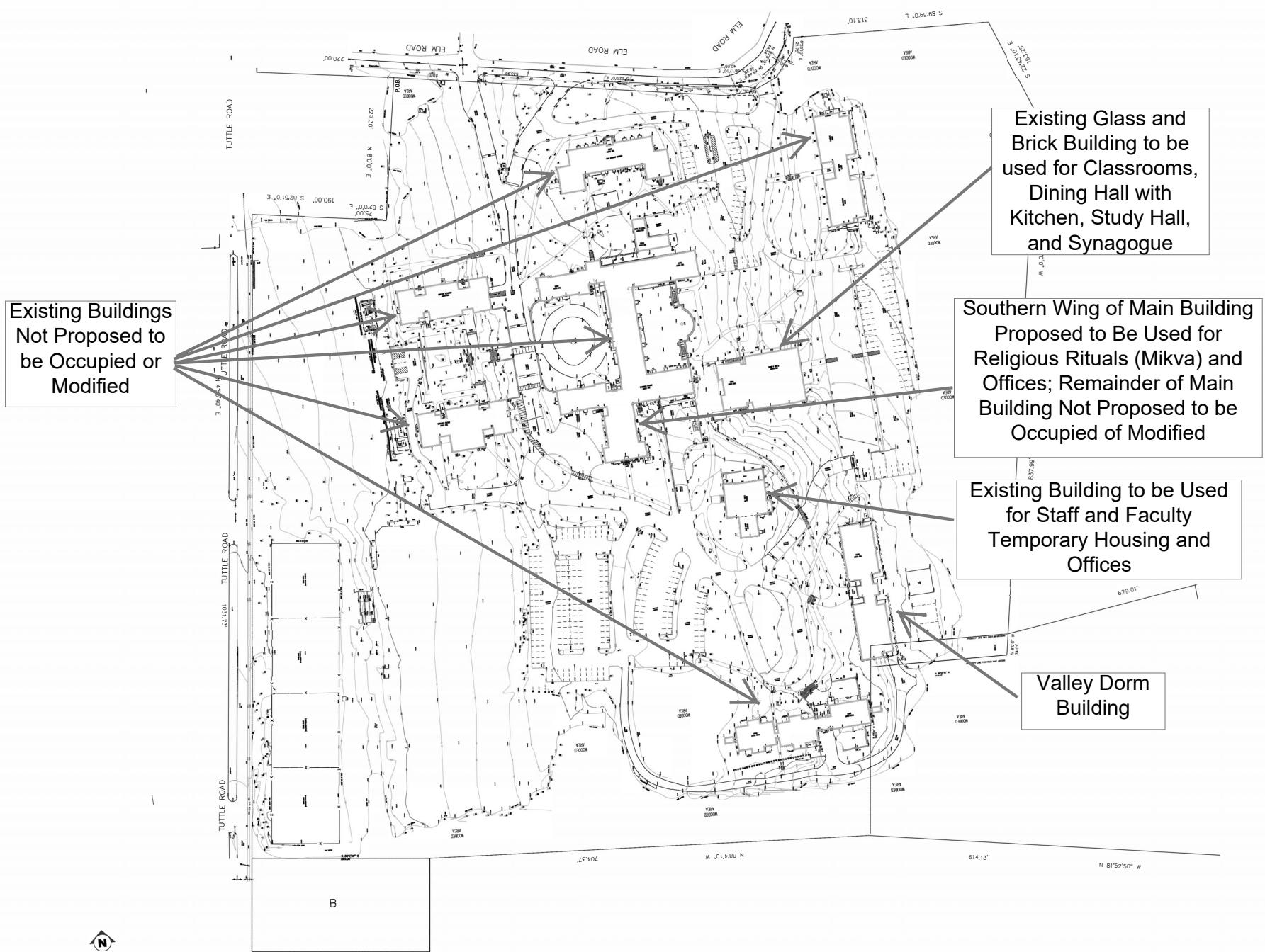
WHEREAS, the Village Board of Trustees finds that an effective way to control the intensity of the use of the Briarcliff Campus, including the traffic carried by the access roads to the Briarcliff Campus, would be to impose limitations on the number of students who may be enrolled in classes on the Briarcliff Campus on any given day; and

WHEREAS, the Village Board of Trustees has carefully considered said application and finds that the conditions and standards of Section 4(B), Subdivision C, of the Zoning Ordinance may be met by a special permit granted as set forth below.

NOW, THEREFORE, BE IT RESOLVED, that the Village Board of Trustees in a meeting held on the 20th day of July 1978, does hereby grant a special permit to Pace University to operate and use the premises as shown on the Site Plan subject to the following conditions, the violation of any of which shall place the special permit and its Certificate of Occupancy in jeopardy and subject to revocation by the Village:

1. Permission is granted to increase the number of available parking spaces to accommodate a maximum of 324 cars, which spaces shall be located in designated areas of the Briarcliff Campus, as shown on the Site Plan, with all new spaces to be located in the area of the Briarcliff Campus that lies immediately to the east of the dining hall and internal roads, as shown on the Site Plan;
2. No parking shall be permitted on-campus other than in designated areas as shown on the Site Plan;
3. The scheduling of classes by the University and normal permitted use of the Briarcliff Campus shall be such that it will not result in the need for off-campus parking in the immediate vicinity of the Briarcliff Campus;
4. The number of resident students on the Briarcliff Campus utilizing existing facilities shall not exceed 700, and the cumulative number of non-resident students attending classes at the Briarcliff Campus on any calendar day shall not exceed 400, except that this limitation shall not apply to unique special events held no more frequently than 12 times a year on the Briarcliff Campus;
5. The written master plan submitted by Pace University on May 19, 1978, together with a traffic study dated May 31, 1978 and the Site Plan last revised on June 2, 1978, shall be on file with the Village Clerk;
6. Pace University shall comply with all future requirements instituted by the Village Planning Board in connection with its final and detailed Site Plan review and approval.

EXHIBIT D



NOTE: SITE PLAN INFORMATION TAKEN FROM SITE PLAN DRAFT DATED 6-4-21 PROVIDED BY SUMMIT SURVEYING

Westchester County GIS Tax Parcel Viewer Aerial



EXHIBIT E

EXHIBIT F



610543530DED001R

Westchester County Recording & Endorsement Page

Submitter Information

Name: Madison Title Agency
Address 1: 1125 Ocean Avenue
Address 2:
City/State/Zip: Lakewood NJ 08701

Phone: 732-333-2497
Fax: 732-333-2498
Email: bboxer@madisontitle.com
Reference for Submitter: MTANY-158994 (bb)

Document Details

Control Number: **610543530**

Document Type: **Deed (DED)**

Package ID: 2021022300266001001

Document Page Count: **4**

Total Page Count: **6**

Parties

Additional Parties on Continuation page

1st PARTY

1: RESEARCH CENTER ON NATURAL CONSERVATION INC - Other
2:

2nd PARTY

1: KHAL TORATH CHAIM OF ROCKLAND - Other
2:

Property

Additional Properties on Continuation page

Street Address: 235 ELM ROAD

Tax Designation: 98.19-2-10

City/Town: OSSINING TOWN

Village: BRIARCLIFF MANOR

Cross- References

Additional Cross-Refs on Continuation page

1: 2: 3: 4:

Supporting Documents

1: RP-5217 2: TP-584

Recording Fees

Statutory Recording Fee:	\$40.00
Page Fee:	\$25.00
Cross-Reference Fee:	\$0.00
Mortgage Affidavit Filing Fee:	\$0.00
RP-5217 Filing Fee:	\$250.00
TP-584 Filing Fee:	\$5.00
RPL 291 Notice Fee:	\$0.00
Total Recording Fees Paid:	\$320.00

Mortgage Taxes

Document Date:	
Mortgage Amount:	
Basic:	\$0.00
Westchester:	\$0.00
Additional:	\$0.00
MTA:	\$0.00
Special:	\$0.00
Yonkers:	\$0.00
Total Mortgage Tax:	\$0.00

Transfer Taxes

Consideration:	\$11,750,000.00
Transfer Tax:	\$47,000.00
Mansion Tax:	\$0.00
Transfer Tax Number:	25728

Dwelling Type: Exempt:
Serial #:

RECORDED IN THE OFFICE OF THE WESTCHESTER COUNTY CLERK



Recorded: 03/02/2021 at 09:07 AM

Control Number: **610543530**

Witness my hand and official seal

Timothy C. Idoni
Westchester County Clerk

Record and Return To

Pick-up at County Clerk's office

Silberberg & Kirschner, LLP
55 Old Nyack Turnpike
Suite 210
Nanuet, NY 10594
Attn: Uri Kirschner, Esq.

The Office of the Westchester County Clerk: This page is part of the instrument; the County Clerk will rely on the information provided on this page for purposes of indexing this instrument. To the best of submitter's knowledge, the information contained on this Recording and Endorsement Cover Page is consistent with the information contained in the attached document.

610543530DED001R

Westchester County Recording & Endorsement Page

Document Details

Control Number: **610543530**

Document Type: **Deed (DED)**

Package ID: 2021022300266001001

Document Page Count: 4

Total Page Count: 6

Properties Addendum

235 ELM STREET 10510

OSSINING TOWN

BRIARCLIFF MANOR

98.19 2 11

235 ELM ROAD 10510

OSSINING TOWN

BRIARCLIFF MANOR

98.19 2 11.1

**BARGAIN AND SALE DEED WITH COVENANT
AGAINST GRANTORS ACTS**

wsf
THIS INDENTURE, made the 25th day of February, in the year 2021

BETWEEN **Research Center on Natural Conservation Inc.** a New York not-for-profit corporation having an address at P.O. Box 501, Harriman, New York 10526
235 Elm Road, Briarcliff Manor, NY 10510

party of the first part, and **Khal Torath Chaim of Rockland**, having an address at 15 Elyon Road, Monsey, New York 10952

party of the second part,

WITNESSETH, that the party of the first part, in consideration of Ten Dollars and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever,

ALL that certain plot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the **Village of Briarcliff Manor, Town of Ossining, County of Westchester and State of New York**, being more particularly bounded and described in Schedule "A" attached hereto.

SEE SCHEDULE "A" ATTACHED HERETO AND MADE A PART HEREOF

The Premises being conveyed herein is commonly known as **235 Elm Road, Briarcliff Manor, New York 10510**.

The Premises being conveyed herein was conveyed to the party of the first part by Deed: Dated December 21, 2016 and recorded February 10, 2017 in the Westchester County Register's/Clerk's Office in Control # 563363334.

TOGETHER with all right, title and interest, if any, of the party of the first part of, in and to any streets and roads abutting the above-described premises to the center lines thereof; **TOGETHER** with the appurtenances and all the estate and rights of the party of the first part in and to said premises; **TO HAVE AND TO HOLD** the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

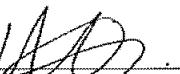
AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of the improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose. The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

IN PRESENCE OF:

RESEARCH CENTER ON NATURAL
CONSERVATION, INC.

By: 
Name: Ira Ma
Title: Vice President

USE ACKNOWLEDGEMENT FROM BELOW WITHIN NEW YORK STATE ONLY.

State of New York, County of Westchester } ss:

On the 24 day of February in the year 2021, before me the undersigned, personally appeared JIA MA personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

USE ACKNOWLEDGEMENT FROM BELOW WITHIN NEW YORK STATE ONLY.

State of New York, County of } ss:

On the day of in the year , before me the undersigned, personally appeared _____ personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.


CHAIM S. MENDLOWITZ
Notary Public, State of New York
No. 01ME6006683
Qualified In Kings County
Commission Expires May 4, 2022

BARGAIN & SALE DEED
WITH COVENANTS AGAINST GRANTOR'S ACTS
Title No.:

Research Center on Natural Conservation Inc.
TO
Khal Torath Chaim of Rockland

COUNTY: **Westchester**
SECTION **98.19**
BLOCK **2**
LOT **10, 11 & 11.1**

RETURN BY MAIL TO:

Uri Kirschner, Esq.
Silberberg & Kirschner, LLP
55 Old Nyack Turnpike, Suite 210
Nanuet, New York 10954

RESERVE THIS SPACE FOR RECORDING OFFICE

SCHEDULE A

METES AND BOUNDS DESCRIPTION OF THE REAL PROPERTY

All those certain plots, pieces or parcels of land, situate, lying and being in the Village of Briarcliff Manor, Town of Ossining, County of Westchester and State of New York, being bounded and described as follows:

BEGINNING at a monument at the northwesterly corner of the herein described premises and the northeasterly corner of the property of H.B. Hawkins and on the southerly line of Elm Road, said monument being South 82 degrees 51 minutes 00 seconds East 220 feet from a monument at the intersection of the southerly line of Elm Road and the easterly line of Tuttle Road;

THENCE RUNNING along the southerly and easterly line of said Elm Road and the following courses and distances;

South 82 degrees 00 minutes 00 seconds East 533.96 feet;
South 86 degrees 17 minutes 10 seconds East 40.05 feet;
North 64 degrees 44 minutes 10 seconds East 46.28 feet;
North 37 degrees 03 minutes 10 seconds East 49.64 feet;
North 8 degrees 28 minutes 10 seconds East 21.75 feet to a monument and to the property of Theodosia Garlichs;

THENCE RUNNING South 89 degrees 39 minutes East 313.10 feet along the premises of said Theodosia Garlichs to a monument and to the property of the Briarcliff Realty Company;

THENCE South 22 degrees 43 minutes 10 seconds East 163.25 feet along the property of the Briarcliff Realty Company to a monument;

THENCE South 8 degrees 00 minutes 00 seconds West in part along the westerly line of land now or formerly of Briarcliff Realty Co. and in part along the westerly line of land now or formerly of Gertrude Gilmour 837.99 feet to the southerly line of said land now or formerly of Gilmour;

THENCE along the same North 80 degrees 13 minutes 50 seconds East 629.01 feet to a point on the westerly side of South State Road;

THENCE along said westerly side of South State Road, South 8 degrees 57 minutes 20 seconds East 18.58 feet, South 4 degrees 43 minutes 10 seconds East 129.73 feet, South 6 degrees 42 minutes 30 seconds East 211.01 feet and South 9 degrees 16 minutes 00 seconds East 116.34 feet to the northerly line of land of the Briarcliff Realty Co.;

THENCE along said land South 85 degrees 37 minutes 50 seconds West 318.65 feet, North 81 degrees 52 minutes 50 seconds West 614.13 feet, North 88 degrees 04 minutes 10 seconds West 704.37 feet and North 85 degrees 04 minutes 20 seconds West 285.07 feet to the easterly side of Tuttle Road;

THENCE along said easterly side of Tuttle Road, North 4 degrees 55 minutes 40 seconds East 1031.73 feet to the southerly line of land now or formerly of H.B. Hawkins;

THENCE along the southerly and easterly lines of land now or formerly of Hawkins, South 82 degrees 51 minutes 00 seconds East 190.00 feet, South 82 degrees 00 minutes 00 seconds East 25.00 feet and North 8 degrees 00 minutes 00 seconds East 229.30 feet to the southerly side of Elm Road to the point or place of BEGINNING.

The above described premises includes within its perimeter and bounds Lot Number Four (4) as shown on the subdivision Map Number 25555 hereinafter mentioned but specifically EXCEPTING AND EXCLUDING THEREFROM so much described as follows: All that certain plot, piece or parcel of land; situate, lying and being in the Village of Briarcliff Manor, Town of Ossining, County of Westchester and State of New York, being known and designated as Lot Nos. 1 (One), 2 (Two), and 3 (Three) as shown on a certain map entitled "4 Lot Subdivision" filed in the Office of the Westchester County Clerk, Division of Land Records on December 12, 1995 as Map No. 25555.

EXHIBIT G

400 Columbus Avenue
Suite 180E
Valhalla New York 10595
Main: 877 627 3772
colliersengineering.com



June 17, 2021

Mr. David Rosenberg, Administrator
Yeshivath Viznitz Dkhal Torath Chaim Inc.
Khal Torath Chaim of Rockland Inc.
15 Elyon Road
Monsey, NY 10952

Yeshivath Viznitz
235 Elm Road (Former Pace University Briarcliff Campus)
Village of Briarcliff Manor, Westchester County, New York
Colliers Engineering & Design Project No. 21003367A

Dear Mr. Rosenberg:

Based on the information provided, Colliers Engineering & Design has provided a summary of the anticipated trip generation based on the proposed operation of the Yeshivath Viznitz proposed at the former Pace University Briarcliff Campus (235 Elm Road) in the Village of Briarcliff Manor, New York. We have also provided historical traffic count data collected in 2010 at the Pace University Briarcliff Campus by our office.

The following Sections provide a description of the proposed Project and the tasks undertaken in completing our evaluation.

1. PROJECT DESCRIPTION AND LOCATION

Yeshivath Viznitz is proposing to adaptively reuse the former Pace University Briarcliff Campus for its higher education religious institution (post-secondary school) for some 250 students (single male students, ages 17-20) most of which would reside in dorms. It is anticipated 200-220 students will reside on campus with some 30-50 students commuting to the Site. The educational and worship activities for the students that reside on campus typically occur between 6:00am and 9:00pm daily. The educational and worship activities for commuting students typically occur between 10:00am and 7:00pm, Sunday through Thursday with no Friday and Saturday studies. There will be approximately 40 staff per shift, 10:00am to 2:00pm and 4:00pm to 10:00pm. Commuting students and most staff will arrive and depart the Site by bus (approximately 2-3 buses per day) or shuttle/van (approximately 4 shuttles/van per day) which will be provided by the School. A small percentage of staff may travel on their own (anticipated to be no more 10 at the same time).

2. FORMER PACE UNIVERSITY BRIARCLIFF CAMPUS

It is our understanding that the previous Pace University approvals permitted an enrollment of 700 residential students on Site with an additional 400 commuting students permitted to attend classes per day. Our office had previously collected traffic counts at the Pace University Briarcliff Campus on November 23, 2010 between the hours of 7:30am to 9:00am, and on November 17, 2010 between the hours of 9:00am to 1:00pm and 3:00pm to 6:30pm. At the time of those traffic counts, the Briarcliff Campus contained residential facilities for approximately 590 students and office space for approximately 160 administrative staff with students traveling between the Briarcliff Campus and Mt. Pleasant Campus on a daily basis by scheduled University shuttle or private car. Based on the historical traffic counts, the Pace University Briarcliff Campus was generating traffic throughout the day with a total of 174 trips (102 entering trips / 72 exiting trips) during the Weekday Peak AM Hour (8:00am – 9:00am) and a total of 202 trips (59 entering / 143 exiting) during the Weekday Peak PM Hour (4:30pm- 5:30pm). A copy of the historical traffic count data is contained in Attachment 1.

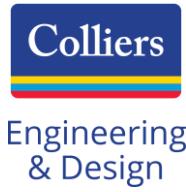
3. SUMMARY AND CONCLUSION

Based on the proposed operation of the Yeshivath Viznitz (Section 1), the proposed Yeshivath Viznitz is not anticipated to have a significant impact on the area roadways in the vicinity of the Site. In addition, the proposed Yeshivath Viznitz will generate significantly less traffic than the former Pace University Briarcliff Campus during peak periods as well over the course of the day.

Sincerely,

Colliers Engineering & Design CT, P.C.


Ronald P. Rieman
Associate/Project Manager



Attachment 1 | Historical Traffic Count Data

LOCATION: PACE UNIVERSITY - BRIARCLIFF CAMPUS DRWY PROJECT: PACE UNIVERSITY

DATE OF COUNT: 11/17/10

DAY: WEDNESDAY

JCE JOB #:

1759

START TIME: 09:00

AM**ENTER 15-MINUTE COUNT VOLUMES BY MOVEMENT**

AM PEAK HOUR	EASTBOUND				WESTBOUND			NORTHBOUND			SOUTHBOUND			total	
	1	2	3	4	5	6	7	8	9	10	11	12			
09:00 AM 09:15 AM		22	4	33	17		2	0	13				91	X	
09:15 AM 09:30 AM		19	4	14	16		1	0	9				63	X	
09:30 AM 09:45 AM		26	3	13	19		1	0	6				68	X	
09:45 AM 10:00 AM		27	1	13	13		0	0	18				72	X 294	
10:00 AM 10:15 AM		22	1	10	13		1	0	18				65	A 268	
10:15 AM 10:30 AM		22	1	3	9		0	0	13				48	A 253	
10:30 AM 10:45 AM		18	1	5	15		1	0	7				47	A 232	
10:45 AM 11:00 AM		23	3	10	10		0	0	12				58	A 218	
11:00 AM 11:15 AM		13	2	8	10		0	0	16				49	A 202	
11:15 AM 11:30 AM		17	2	8	12		0	0	24				63	A 217	
11:30 AM 11:45 AM		14	1	10	15		0	0	11				51	A 221	
11:45 AM 12:00 PM		19	1	7	21		0	0	11				59	A 222	
12:00 PM 12:15 PM		20	2	10	15		1	0	12				60	A 233	
12:15 PM 12:30 PM		21	1	9	17		1	0	11				60	A 230	
12:30 PM 12:45 PM		17	0	10	16		0	0	9				52	A 231	
12:45 PM 01:00 PM		19	3	9	18		0	0	10				59	A 231	

CALCULATED PEAK 15-MINUTE VOLUMES

09:00 AM 09:15 AM	0	22	4	33	17	0	2	0	13	0	0	0	91	
09:15 AM 09:30 AM	0	19	4	14	16	0	1	0	9	0	0	0	63	
09:30 AM 09:45 AM	0	26	3	13	19	0	1	0	6	0	0	0	68	
09:45 AM 10:00 AM	0	27	1	13	13	0	0	0	18	0	0	0	72	
10:00 AM 10:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	
10:15 AM 10:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	
10:30 AM 10:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	
10:45 AM 11:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	
11:00 AM 11:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	
11:15 AM 11:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	
11:30 AM 11:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	
11:45 AM 12:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	
12:00 PM 12:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	
12:15 PM 12:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	
12:30 PM 12:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	
12:45 PM 01:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	

CALCULATED PEAK HOUR VOLUMES

AM PEAK HOUR	1	2	3	4	5	6	7	8	9	10	11	12	total	PHF
09:00 AM 10:00 AM	0	94	12	73	65	0	4	0	46	0	0	0	294	0.81

0	0	0	^	6	0
12	11	10	<	5	65
<	v	>	v	4	73
0	1	^	<	^	>

LOCATION: PACE UNIVERSITY - BRIARCLIFF CAMPUS DRWY

PROJECT: PACE UNIVERSITY

DATE OF COUNT: 11/17/10

DAY: WEDNESDAY

JCE JOB #:

1759

START TIME : 15:00

PM**ENTER 15-MINUTE COUNT VOLUMES BY MOVEMENT**

AM PEAK HOUR	EASTBOUND			WESTBOUND		NORTHBOUND			SOUTHBOUND			total		
	1	2	3	4	5	6	7	8	9	10	11	12		
03:00 PM 03:15 PM		24	2	22	48		0		13				109	A
03:15 PM 03:30 PM		31	1	14	35		1		16				98	A
03:30 PM 03:45 PM		33	6	10	32		1		13				95	A
03:45 PM 04:00 PM		34	2	9	29		1		11				86	A 388
04:00 PM 04:15 PM		31	3	17	38		1		35				125	A 404
04:15 PM 04:30 PM		20	2	19	26		1		22				90	A 396
04:30 PM 04:45 PM		20	1	10	32		1		27				91	X 392
04:45 PM 05:00 PM		31	1	12	28		0		18				90	X 396
05:00 PM 05:15 PM		28	2	16	32		0		55				133	X 404
05:15 PM 05:30 PM		19	4	13	42		5		37				120	X 434
05:30 PM 05:45 PM		16	0	6	17		0		30				69	A 412
05:45 PM 06:00 PM		24	2	11	26		0		30				93	A 415
06:00 PM 06:15 PM		29	1	2	21		0		15				68	A 350
06:15 PM 06:30 PM		21	2	3	15		0		12				53	A 283
06:30 PM 06:45 PM													0	A 214
06:45 PM 07:00 PM													0	A 121

CALCULATED PEAK 15-MINUTE VOLUMES

03:00 PM 03:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0
03:15 PM 03:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0
03:30 PM 03:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0
03:45 PM 04:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0
04:00 PM 04:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0
04:15 PM 04:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0
04:30 PM 04:45 PM	0	20	1	10	32	0	1	0	27	0	0	0	91
04:45 PM 05:00 PM	0	31	1	12	28	0	0	0	18	0	0	0	90
05:00 PM 05:15 PM	0	28	2	16	32	0	0	0	55	0	0	0	133
05:15 PM 05:30 PM	0	19	4	13	42	0	5	0	37	0	0	0	120
05:30 PM 05:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0
05:45 PM 06:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0
06:00 PM 06:15 PM	0	0	0	0	0	0	0	0	0	0	0	0	0
06:15 PM 06:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0
06:30 PM 06:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0
06:45 PM 07:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0

CALCULATED PEAK HOUR VOLUMES

PM PEAK HOUR	1	2	3	4	5	6	7	8	9	10	11	12	total	PHF
04:30 PM 05:30 PM	0	98	8	51	134	0	6	0	137	0	0	0	434	0.82

0	0	0	^	6	0
12	11	10	<	5	134
<	v	>	v	4	51
0	1	^	<	^	>

LOCATION: PACE UNIVERSITY - BRIARCLIFF CAMPUS DRWY PROJECT: PACE UNIVERSITY

DATE OF COUNT: 11/23/10

DAY: TUESDAY

JCE JOB #: 1759

START TIME: 07:30

AM**ENTER 15-MINUTE COUNT VOLUMES BY MOVEMENT**

AM PEAK HOUR	EASTBOUND				WESTBOUND				NORTHBOUND				SOUTHBOUND					
	1	2	3	4	5	6	7	8	9	10	11	12						
07:30 AM 07:45 AM		10	1	8	14		1		6	0	0	0	40	A				
07:45 AM 08:00 AM		20	2	11	18		1		13	0	0	1	66	A				
08:00 AM 08:15 AM		20	0	19	14		0		7	1	1	1	63	X				
08:15 AM 08:30 AM		47	5	15	23		1		22	0	0	0	113	X	282			
08:30 AM 08:45 AM		33	4	15	25		0		11	0	1	0	89	X	331			
08:45 AM 09:00 AM		27	3	41	22		2		29	0	1	1	126	X	391			
09:00 AM 09:15 AM													0	A	328			
09:15 AM 09:30 AM													0	A	215			
09:30 AM 09:45 AM													0	A	126			
09:45 AM 10:00 AM													0	A	0			
10:00 AM 10:15 AM													0	A	0			
10:15 AM 10:30 AM													0	A	0			
10:30 AM 10:45 AM													0	A	0			
10:45 AM 11:00 AM													0	A	0			
11:00 AM 11:15 AM													0	A	0			
11:15 AM 11:30 AM													0	A	0			

CALCULATED PEAK 15-MINUTE VOLUMES

07:30 AM 07:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0				
07:45 AM 08:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0				
08:00 AM 08:15 AM	0	20	0	19	14	0	0	0	7	1	1	1	63				
08:15 AM 08:30 AM	0	47	5	15	23	0	1	0	22	0	0	0	113				
08:30 AM 08:45 AM	0	33	4	15	25	0	0	0	11	0	1	0	89				
08:45 AM 09:00 AM	0	27	3	41	22	0	2	0	29	0	1	1	126				
09:00 AM 09:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0				
09:15 AM 09:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0				
09:30 AM 09:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0				
09:45 AM 10:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0				
10:00 AM 10:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0				
10:15 AM 10:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0				
10:30 AM 10:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0				
10:45 AM 11:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0				
11:00 AM 11:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0				
11:15 AM 11:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0				

CALCULATED PEAK HOUR VOLUMES

AM PEAK HOUR	1	2	3	4	5	6	7	8	9	10	11	12	total	PHF
08:00 AM 09:00 AM	0	127	12	90	84	0	3	0	69	1	3	2	391	0.78

2	3	1	^	6	0
12	11	10	<	5	84
<	v	>	v	4	90
0	1	^	<	^	>

EXHIBIT H

Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C.
One North Broadway, Suite 910 White Plains, NY 10601 T: 914.323.7400 F: 914.323.7401

To: Mayor Steven A. Vescio and Members of the Board of Trustees
Chairman Edward Nolan and Members of the Planning Board

From: Sean Moronski, P.P., AICP, Langan

Info: Daniel Patrick, Esq., Cuddy & Feder
Michael Finan, P.E., LEED AP, Langan

Date: 18 June 2021

Re: Municipal Service Impact Study
Yeshivath Viznitz School
Site Plan Application and Special Permit Application
Village of Briarcliff Manor, Westchester County, New York
235 Elm Road, Briarcliff Manor, New York (SBL: 98.19-2-11)
Langan Project No.: 190070101

INTRODUCTION

This memorandum reviews the potential impact of the proposed place of worship use on municipal services, as required under § 220-6.D.6 of the Village of Briarcliff Manor ("Village") zoning ordinance. Located in the R40B single-family residence zoning district ("R40B District") at 235 Elm Road in the Village of Briarcliff Manor, Westchester County, New York ("Premises"), the Premises was the location of a Pace University campus. Yeshivath Viznitz ("Applicant") is requesting site plan and special permit approval for the Proposed Project, which consists of the adaptive reuse of the Premises for a place of worship.

Based on this study, the Proposed Project will not have an adverse impact on municipal services. The Premises was previously used as a college campus having more students than the Proposed Project. No expansion of facilities is proposed nor is the level of activity anticipated to generate the need for additional services beyond which already serves the Premises and Village.

EXISTING CONDITIONS

The Premises is at 235 Elm Road in the Village and consists of an approximately 37 acre parcel with driveway access on Elm Road approximately 350 feet east of Tuttle Road. Located in the R40B District, the Premises is situated approximately 0.5 miles from the New York State ("NYS") Route 9A entrance/exit at Pleasantville Road.

The Premises is improved with nine existing buildings and at grade parking which previously supported the Pace University – Briarcliff Manor campus. The Premises was purchased by Pace University in or around 1977.

Technical Memorandum

Municipal Service Impact Study
Yeshivath Viznitz School
Village of Briarcliff Manor, Westchester County, New York
Langan Project No.: 190070101
18 June 2021 - Page 2 of 3

The Village granted special permit approval to Pace University in 1978 for the use of the building for higher educational use. The campus supported the Briarcliff College for decades preceding Pace University's ownership and occupancy.

Pace University's approved special permit in 1978 permitted an increase in academic operations, onsite housing, and student enrollment at the Premises. The 1978 Pace University approvals permitted an enrollment of 700 residential students on site with an additional 400 commuting students permitted to attend classes per day. There are 324 available parking spaces permitted on site to support the higher education use. Prior the 1978 special permit, the Briarcliff College had operated with a total enrollment of up to 688 students.

PROPOSED PROJECT

The Applicant proposes to adaptively reuse the Premises and its existing structures for its private higher education religious institution. Per § 220-6.J.(1) of the Village zoning ordinance, the Proposed Project constitutes a "place of worship" which is permitted in the R40B District by special permit approved by the Board of Trustees. Yeshivath Viznitz is a religious educational institution accredited by the Association of Advanced Rabbinical and Talmudic Schools (AARTS) with its main campus located in Monsey, New York and a second campus in Kiamesha Lake, New York. The Yeshivath Viznitz school was established in 1964 to provide higher education programs for men at the undergraduate and graduate levels.

The Premises is expected to operate at a lesser capacity than was previously used by Pace University and Briarcliff College. Approximately 200 to 220 students will reside in an on-campus dormitory with the balance of students commuting to the Premises. Faculty and staff will be able to commute or reside on campus. No students and very limited staff are expected to arrive or depart the Premises by personal vehicle. Any commuting students and staff will arrive and depart the Premises by bus, with approximately two or three busses entering and exiting the Premises per day, or approximately four shuttles/mini-vans entering and exiting the Premises per day.

The educational and worship activities typically occur between 6:00 a.m. and 9:00 p.m. daily. The only instances in which the public is expected to visit the Premises are during special events such as holiday gatherings and graduations. These are rare occasions and expected to occur only a few days a year. Otherwise, the Premises is not expected to be visited by non-students/staff or otherwise open to the public, except for parents visiting their children occasionally, which rarely occurs.

MUNICIPAL SERVICES IMPACTS

Police Department. The Briarcliff Manor police department headquarters is located at 1111 Pleasantville Road approximately 0.7 miles north of the Premises. Travel time between the police headquarters and the Premises is approximately three minutes. According to the adopted 2021-2022 Village budget, the police department has 21 full-time employees, including the police chief, lieutenant, six sergeants, detective, and 12 patrolmen.

Technical Memorandum

Municipal Service Impact Study
Yeshivath Viznitz School
Village of Briarcliff Manor, Westchester County, New York
Langan Project No.: 190070101
18 June 2021 - Page 3 of 3

Given the Proposed Project will have fewer students on the Premises than when it was operated by Pace University, there is no anticipated need for additional manpower. It is anticipated there will be security measures implemented by the school typical of an institution of this type. The police department will have an opportunity to comment on the site plan application to address potential concerns.

Issues regarding traffic should be limited given the relatively low number of vehicles accessing the Premises. Furthermore, special events such as holiday gatherings and graduations are rare occurrences limited to a few days a year. No adverse impact to the police department is anticipated from the Proposed Project.

Fire Department and Emergency Medical Services. The Briarcliff Manor fire department headquarters is located at 1111 Pleasantville Road approximately 0.7 miles north of the Premises. Travel time between the police headquarters and the Premises is approximately three minutes. The fire department is all volunteer members and responds to over 1,000 fire, motor vehicle accident, and ambulance calls every year. The Briarcliff Manor Ambulance Corps in the fire department serves the emergency medical needs and has two ambulances operating 24 hours a day, seven days a week.

The Proposed Project does not include additional buildings or changes to the existing building footprints. The Proposed Project will meet the applicable standards of the National Electric Code and the New York State Uniform Fire Prevention and Building Code. The fire department will have the opportunity to review the site plan application and comment on potential concerns. There is no need for additional firefighting vehicles anticipated due to the Proposed Project. Given the size and scale of the existing buildings remaining as is and the number of students being less than previously using the Premises, no adverse impact to the fire department is anticipated from the Proposed Project.

Recreation. The Proposed Project does not anticipate any substantial use or impact on Village recreation facilities. The Premises includes fields and other space available for student recreation, both active and passive. No adverse impact to Village recreation facilities is anticipated from the Proposed Project

CONCLUSION

The Proposed Project will not result in any adverse impact to municipal services. The Premises will operate in a less intense manner, i.e. fewer students, than when it was a Pace University campus. As noted in this study, there will be a limited number of vehicles accessing the Premises. All applicable safety regulations and codes will be addressed.

For the reasons noted in this study, the Proposed Project will not pose any adverse impact on Village municipal services.

EXHIBIT I

Langan Engineering, Environmental, Surveying, Landscape Architecture and Geology, D.P.C.
One North Broadway, Suite 910 White Plains, NY 10601 T: 914.323.7400 F: 914.323.7401

To: Mayor Steven A. Vescio and Members of the Board of Trustees
Chairman Edward Nolan and Members of the Planning Board

From: Sean Moronski, P.P., AICP, Langan

Info: Daniel Patrick, Esq., Cuddy & Feder
Michael Finan, P.E., LEED AP, Langan

Date: 18 June 2021

Re: Educational Resources Impact Study
Yeshivath Viznitz School
Site Plan Application and Special Permit Application
Village of Briarcliff Manor, Westchester County, New York
235 Elm Road, Briarcliff Manor, New York (SBL: 98.19-2-11)
Langan Project No.: 190070101

INTRODUCTION

This memorandum reviews the potential impact of the proposed place of worship use on local public schools, as required under § 220-6.D.(7) of the Village of Briarcliff Manor ("Village") zoning ordinance. Located in the R40B single-family residence zoning district ("R40B District") at 235 Elm Road in the Village of Briarcliff Manor, Westchester County, New York ("Premises"), the Premises was the location of a Pace University campus. Yeshivath Viznitz ("Applicant") is requesting site plan and special permit approval for the Proposed Project, which consists of the adaptive reuse of the Premises for a place of worship.

Based on this study, the Proposed Project will not have an adverse impact on the Briarcliff Manor Union Free School District where the Premises is located. No public school age children will be generated if the Proposed Project is approved. Furthermore, the Proposed Project would have less of an impact on educational resources than if the Premises was subdivided into single-family residences on one-acre single family residence lots, which is an as-of-right use in the R40B District.

EXISTING CONDITIONS

The Premises is at 235 Elm Road in the Village and consists of an approximately 37 acre parcel with driveway access on Elm Road approximately 350 feet east of Tuttle Road. Located in the R40B District, the Premises is situated approximately 0.5 miles from the New York State ("NYS") Route 9A entrance/exit at Pleasantville Road.

Technical Memorandum

Educational Resources Impact Study
Yeshivath Viznitz School
Village of Briarcliff Manor, Westchester County, New York
Langan Project No.: 190070101
18 June 2021 - Page 2 of 3

Existing improvements at the Premises consists of nine buildings and at grade parking which previously supported the Pace University – Briarcliff Manor campus, which operated from 1978 through 2016. The campus supported the Briarcliff College for decades preceding Pace University's ownership and occupancy.

The Premises was owned by the Research Center on Natural Conservation Inc. in 2016 and was sold to the Applicant in March 2021.

According to tax records the Premises is tax exempt and does not pay any property taxes to the school district or other agencies.

PROPOSED PROJECT

The Applicant proposes to adaptively reuse the Premises and its existing structures for its private higher education religious institution. Per § 220-6.J.(1) of the Village zoning ordinance, the Proposed Project constitutes a “place of worship” which is permitted in the R40B District by special permit approved by the Board of Trustees. Yeshivath Viznitz is a religious educational institution accredited by the Association of Advanced Rabbinical and Talmudic Schools (AARTS) with its main campus located in Monsey, New York and a second campus in Kiamesha Lake, New York. The Yeshivath Viznitz school was established in 1964 to provide higher education programs for men at the undergraduate and graduate levels.

The Premises is expected to operate at a lesser capacity that was previously used by Pace University and Briarcliff College. Approximately 200 to 220 students will reside in an on-campus dormitory with the balance of students commuting to the Premises.

There are currently two dormitory buildings located at the southeastern corner of the Premises. The Applicant proposes to use the easternmost dormitory building, known as the Valley Dorm, to support its resident students. The Applicant proposes interior and cosmetic renovations to the Valley Dorm building including new windows, flooring, and renovated bathrooms. The Applicant does not propose to expand the size or footprint of this building.

The Proposed Project will not result in any school age children residing at the Premises and attending school in the Briarcliff Manor school district.

POTENTIAL IMPACT OF AN AS-OF-RIGHT DEVELOPMENT

The R40B District permits single-family residences on one-acre lots. For the purposes of this study, we reviewed a 20-lot subdivision on the 37-acre site to project the potential impact of an as-of-right development. To project the number of public school age children that could be expected from a development, multipliers are sourced from *Who Moves Into New York Housing, 2015 Residential Demographic Multipliers*, November 2017, Community Data Analytics and Econsult Solutions. Table 1 provides the household estimates of public school-age children for attached single-family units, own or rent, of all sizes.

Technical Memorandum

Educational Resources Impact Study
Yeshivath Viznitz School
Village of Briarcliff Manor, Westchester County, New York
Langan Project No.: 190070101
18 June 2021 - Page 3 of 3

**Table 1: Projected Number of School-Age Children (SAC) –
20 Four-Bedroom Units**

Unit Type	Multiplier	Total SAC
4-Bedroom Single Family Units	0.969	19.38

Source: *Who Moves Into New York Housing, 2015 Residential Demographic Multipliers*, November 2017, Community Data Analytics and Econsoft Solutions.

Approximately 20 public school-age children are projected from a 20-unit subdivision. This projection represents public school-age children attending kindergarten through high school.

Local property taxes pay for 81.38 percent of the school district costs. According to the New York State Education Department (NYSED) 2019-2020 Financial Transparency Report, the school district spends an average of \$30,106 per student, with approximately \$24,500 per student paid from local property tax funds.

There are 29 single-family residences surrounding the Premises, either abutting the site or across the street. According to the 2020 assessment rolls, the average assessed value of these units is \$886,294. Based on the Village and Briarcliff schools tax rate of \$21.40 per \$1,000 of assessed value indicated on the Town of Ossining Consolidated Rate Sheet dated March 31, 2021, the estimated average tax revenue per lot generated from a 20-unit single-family residence is \$18,967. On a per unit basis, the cost per project school-age child would exceed the revenue generated from an as-of-right subdivision of 20 single-family residences, in addition to potentially adding up to 20 school-age children to the school district. The as-of-right single-family residence subdivision would have a more significant impact on educational resources than the Proposed Project.

CONCLUSION

The Proposed Project will not result in any impact to educational resources or the school district. The Premises is currently tax exempt and generates no school tax revenue, nor will any school age children result from the Proposed Project. The 37-acre premises could be developed with an as-of-right subdivision that generates additional school age children with projected costs exceeding tax revenue. These findings are based on the stated assumptions and are subject to change as new information is provided.

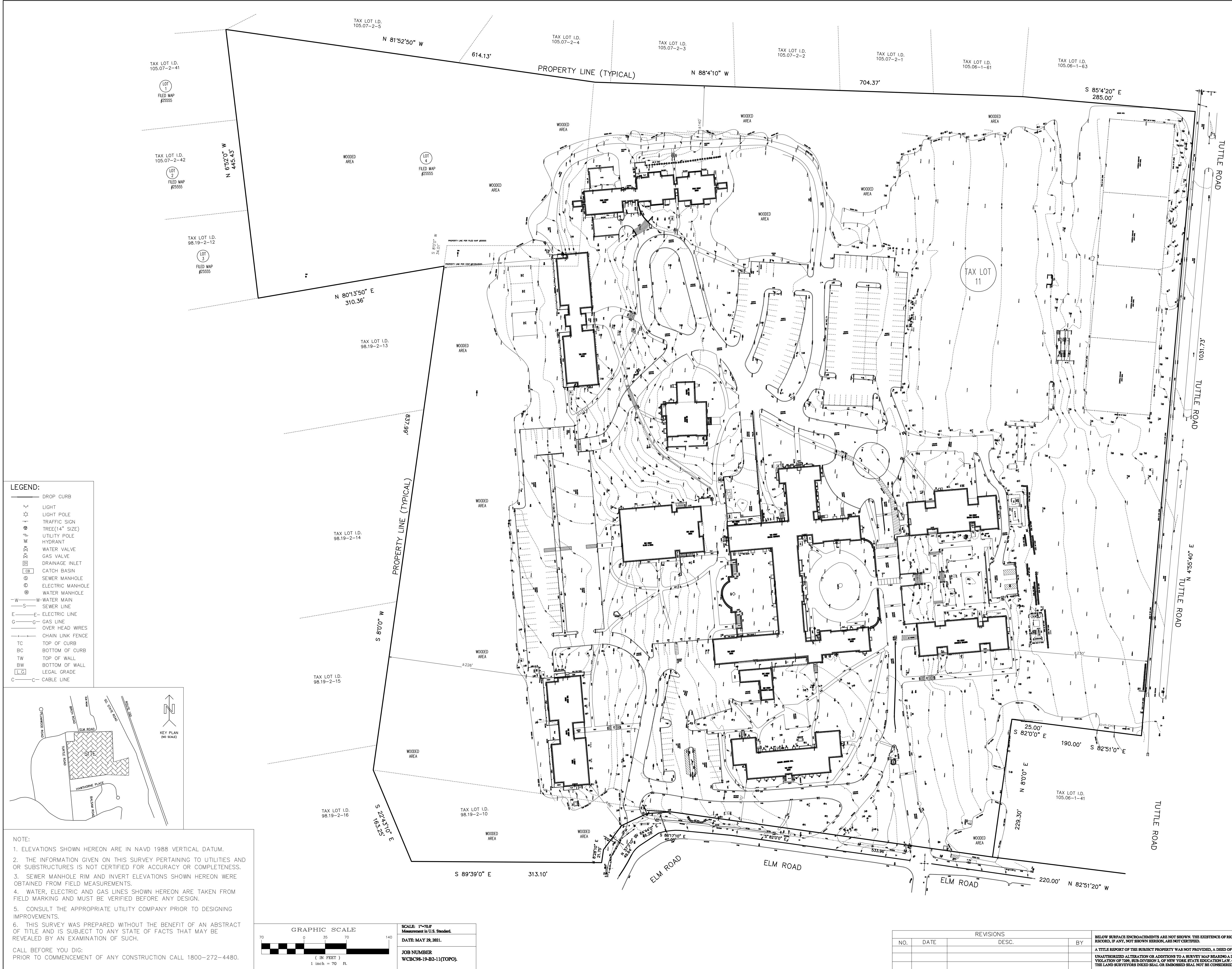
For the reasons noted in this study, the Proposed Project will not result in an adverse impact to the educational resources of local public schools.

Survey


This is to certify that this map and the survey on which it is based were made in accordance with the "Minimum Standard" Detail Requirements for the New York State Association of Land Surveyors.

Rakesh R. Behal, L.S. New York State License Number 050666.

PROPERTY LINE PER CONT.#610543530
TOTAL AREA TAX LOT 10, 11= ±1,618,749 Sq Ft OR ±37.16Ac.
<p>Certifications indicated are limited only to the person for whom this survey was prepared and on his or her behalf to the title company, governmental agency and lending institution for the title number listed hereon. The certifications are not transferable.</p> <p>(NOT FOR TITLE TRANSFER)</p>



Site Plans and Schematic Drawings



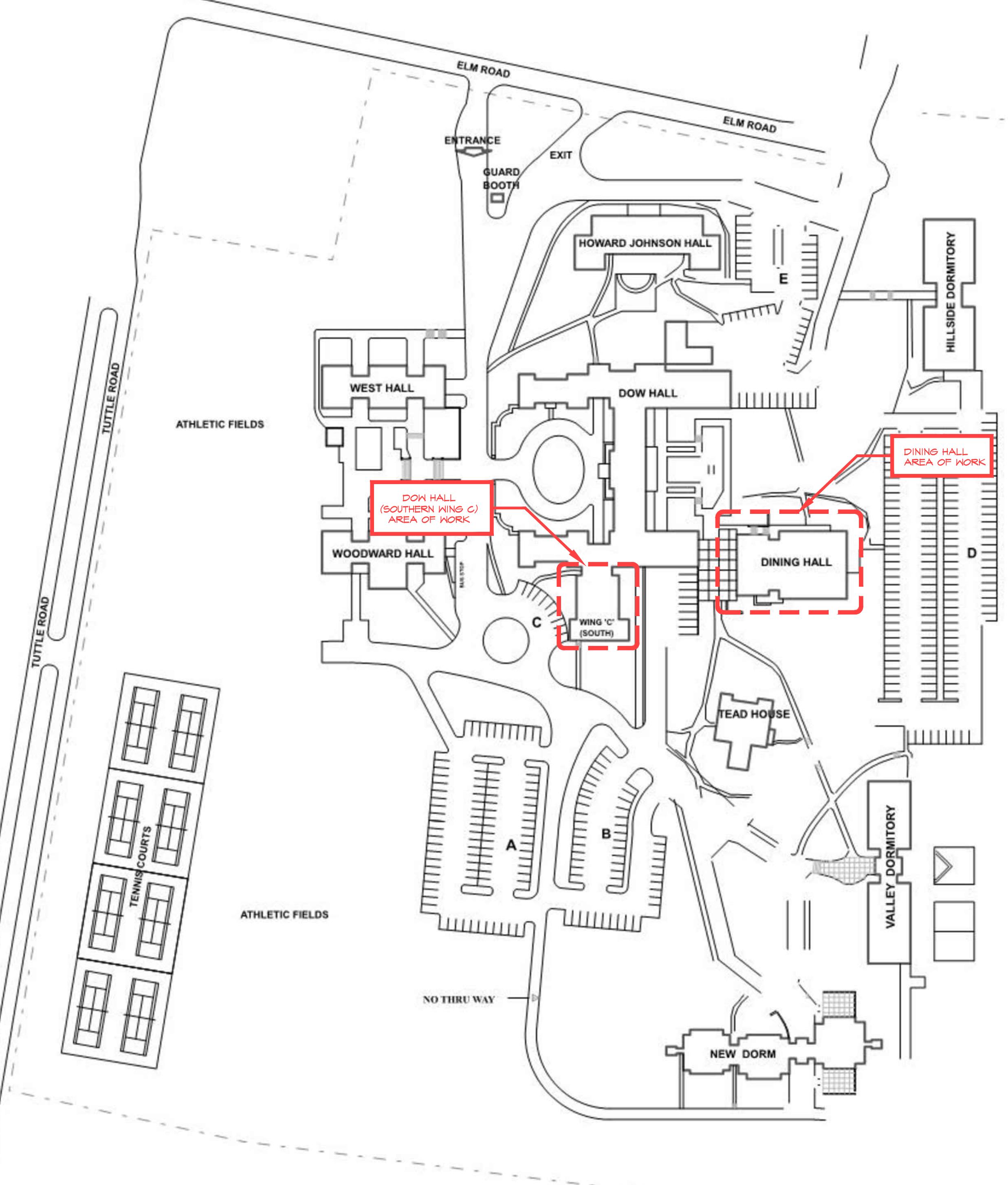
YESHIVATH VIZNITZ

235 ELM ROAD

BRIARCLIFF MANOR, NEW YORK

GENERAL NOTES:

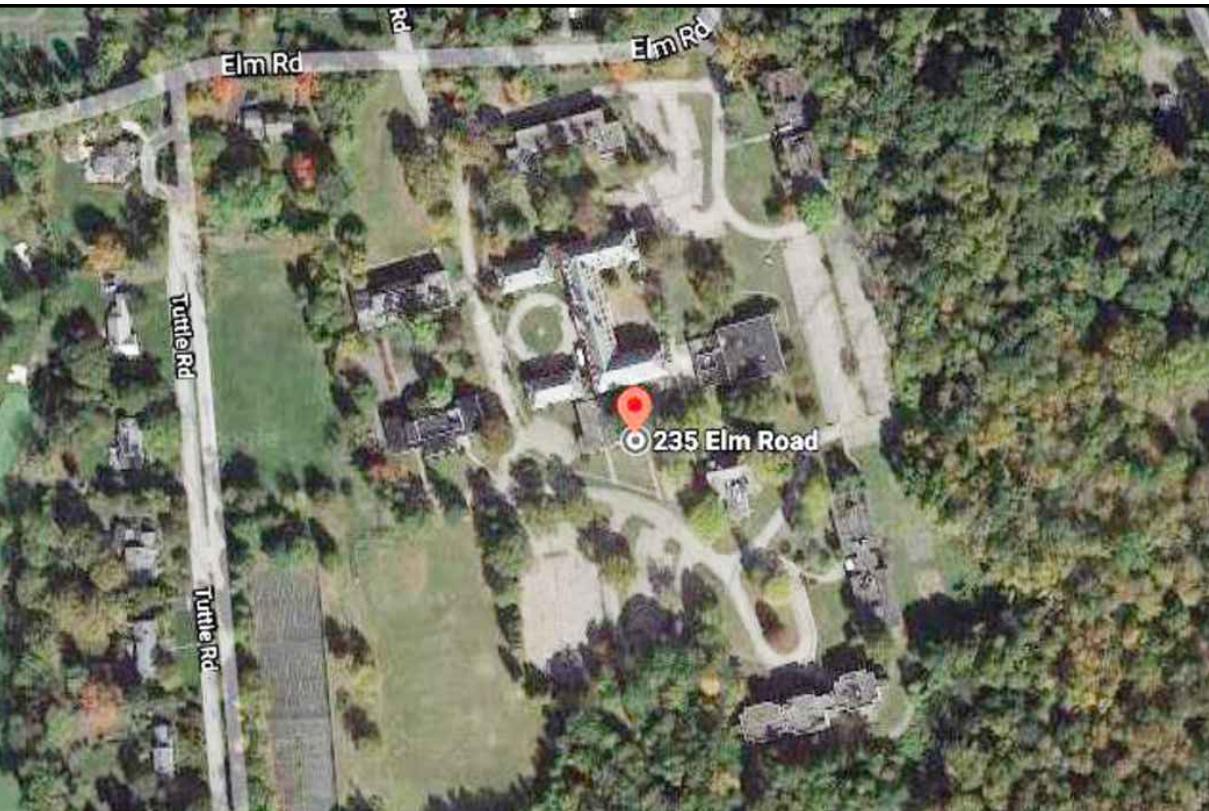
- All work performed shall comply with the requirements of the Village of Briarcliff Manor, 2020 Building Code of New York State (BCNYS) and 2020 Energy Conservation Code of New York State (ECCNYS).
- All Electrical work shall comply with requirements of 2017 National Electrical Code and shall be performed by a NY State Licensed Electrical Contractor.
- Contractor or any subcontractors doing any work under this contract shall carry liability & property damage insurance against accidents of any kind and to provide owner with certificates of said insurance.
- Contractor shall check all dimensions on plan against field conditions prior to construction and shall immediately report any discrepancies to the Architect, prior to commencement of work.
- Prior to commencement of work, the Contractor or any Subcontractor(s) doing any work under this contract shall file all required Certificates of Insurance with Building Department, and shall be entirely responsible for obtaining all required permits from all Authorities having jurisdiction on this matter, including but not limited to, environmental & asbestos removal permits, if so required by owner. The Owner shall be responsible for paying permit fees required by the local Building Department and fees required by all other Governmental Agencies having jurisdiction thereof.
- Contractor shall be responsible for inspections by all Authorities and/or Governmental Agencies having jurisdiction on this matter, as may be necessary.
- Minor details not usually shown or specified but necessary for proper construction of any part of the work shall be included as if they were indicated in the Drawings, and the Architect shall be notified in writing prior to commencement of work.
- The Contractor shall comply with and keep himself informed of all Federal, State, Municipal and Departmental Laws, Ordinances, Rules and Regulations, Notices, Orders and Requirements.
- The Architectural Firm has not been retained for construction inspection services, contract administration or supervision. Architect's responsibility is strictly limited to the contents of working drawings and their related specifications only. Architect is not responsible for any changes to plans & specifications unless specifically authorized by him in writing. Architect has not been retained for Asbestos investigation. Architect & homeowner are not responsible for any kind of design & specifications related to asbestos presence.
- Damaged Work: Each Contractor shall be held responsible for all damage caused to any work on this project by his own forces or those of his Sub-contractors, or by others connected with his operation on this project in any way and shall make all necessary repairs and replacement of such damaged work at his expense, to the reasonable satisfaction of the Owner.
- Safety Requirements: The Contractor shall provide necessary bracing and barricades including temporary walls, fences and other protective structures to safeguard construction and public safety.
- The Contractor shall lay out his own work, and shall provide all dimensions required for other trades: Electrical, Plumbing, etc.
- Job Maintenance: The General Contractor shall be responsible for the maintenance of the site in a clean and orderly condition at all times. Contractors working under separate contracts will cooperate in this requirement, but the General Contractor will be responsible for the required cleaning and maintaining of the site.
- A. Waste materials, rubbish, debris, broken concrete, packing cases, etc., shall be removed.
B. Prior to turning job over to owner, remaining rubbish shall be removed, the ground areas raked clean and the entire building cleaned as specified under "cleaning".
- Cleaning: Immediately before turning the project or parts of same over to the Owner, the General Contractor shall wash and clean the following:
A. Remove temporary protection.
B. Remove marks, stains and other dirt from painted decorated and finished woodwork.
C. Remove spots, mortar, plaster, soil and paint from ceramic tiles and other finish materials and wash or wipe clean.
D. Clean fixtures, cabinet work and equipment and leave in undamaged new appearing condition.
E. Clean aluminum and other finish metals in accordance with Mfg. recommendations.
F. Clean resilient floors thoroughly to remove any surface dirt and polish to uniform sheen.
G. Clean both sides of glass.
- Do not scale drawings. All written measurements shall take precedence over scaled dimensions.



PLOT PLAN

SCALE: 1"=100'-0"

NOTE: KEY PLAN TAKEN FROM AS-BUILT DRAWINGS
DATED 8/19/2010, PROVIDE BY CLIENT TO
ARCHITECT.



LOCATION MAP

NOT TO SCALE



LIST OF DRAWINGS

DWG. NO.	TITLE
T-1	GENERAL NOTES, PLOT PLAN & LOCATION MAP
T-2	GENERAL SPECIFICATIONS & ADA NOTES
A-1	DINING HALL GROUND FLOOR PLAN
A-2	DINING HALL FIRST FLOOR PLAN
A-3	DINING HALL MEZZANINE FLOOR PLAN
A-4	DOW HALL (SOUTHERN WING C) MIKVA FLOOR PLAN

PROJECT INFORMATION

1. DINING HALL - ALTERATIONS

- GROUND FLOOR LEVEL-ALTERED FLOOR AREA.....	± 9,372.4 S.F.
- FIRST FLOOR LEVEL-ALTERED FLOOR AREA.....	± 11,043.6 S.F.
- MEZZANINE LEVEL-ALTERED FLOOR AREA.....	± 3,038.4 S.F.
- MEZZANINE LEVEL-ADDITIONAL FLOOR AREA (F.A.R.).....	± 3,161.8 S.F.
- TOTAL MEZZANINE LEVEL AREA OF WORK.....	± 6,200.2 S.F.
TOTAL DINING HALL AREA OF WORK.....	± 26,616.7 S.F.

2. DOW HALL SOUTHERN WING - 'C' (MIKVA) - ALTERATION

- FIRST FLOOR LEVEL ALTERED AREA.....	± 5,060.9 S.F.
TOTAL DOW HALL (MIKVA) AREA OF WORK.....	± 5,060.9 S.F.

	MAX PARANGI ARCHITECTS P.C.
NEW YORK OFFICE	NEW JERSEY OFFICE
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REVISIONS	

ISSUE LOG	
06/17/21 - TO CLIENT FOR PB REVIEW	

PROJECT/CLIENT	
YESHIVATH VIZNITZ	
DINING HALL ALTERATION	
DOW HALL SOUTHERN WING POOL 'C' HOUSE ALTERATION	
235 ELM ROAD	
BRIARCLIFF MANOR, NY 10510	

DRAWINGS	
- GENERAL NOTES	
- PLOT PLAN	
- LIST OF DRAWINGS	
- LOCATION PLAN	

REGISTERED ARCHITECT MAX PARANGI No. 022268 STATE OF NEW YORK	DATE: 06/17/21
	PROJECT NO.: 21016
	DRAWN BY: CN/RP/SV
	CHK. BY: MP
	DWG. NO.:
	PAGE NO.: 1 OF 6

T-1

GENERAL SPECIFICATIONS:

Structural Concrete

- All work shall comply to the ACI 318-19 code, latest edition, as amended by the 2018 International Building Code.
- All concrete shall be normal weight concrete weighing 145pcf having a compressive strength 3,500 psi at 28 days and a maximum water-cement ratio of 0.45.
- Structural concrete shall contain a water reducing, plasticizing admixture. All concrete exposed to weather shall contain an air-entraining admixture.
- All concrete work: mixes, inspections, and formwork shall conform to the requirements of the 2018 International Building Code and ACI codes.
- Conform to ACI hot and cold weather concreting.
- Contractor shall assume full responsibility for design of concrete mixes and for maintaining strength and proper slump during construction. Concrete mixes shall be designed in accordance with the Section 1905 of the 2018 International Building Code and shall be submitted to the Architect and Engineer for review. No concrete shall be placed until concrete mixes have been approved by the Architect and Engineer.
- All formwork shall be constructed so concrete members and structures are of size, shape, alignment, elevation, and position indicated within tolerance limits of ACI 117.
- Reinforcing bars shall be deformed steel bars complying with ASTM A615, grade 60.
- Welded wire fabric shall comply with ASTM A185 and shall have a minimum yield strength of 70,000 psi.
- All reinforcement shall be detailed and placed in accordance with ACI manual of standard practice, unless otherwise noted. Placing of concrete shall not start until the placement of reinforcing has been approved by the special inspector or special inspection agency.
- Checked shop drawings showing reinforcing details, including steel sizes, spacing and placement, shall be submitted to the Architect for review prior to fabrication.
- Reinforcing bars, welded wire fabric, tie wires and accessories shall be epoxy coated for concrete works that are exposed to weather or under water in accordance with ASTM a-775. Damaged epoxy coating on reinforcing materials shall be touched up to the original coating standards.
- Reinforcing splices shall comply with ACI 318, but shall in no case be less than 40 diameters, unless otherwise noted.
- Mechanical splicing if required, shall have the bars connected to develop at least 125 percent of the specified yield strength of the bar. If mechanical splicing is used, submit product literature describing and method of installation.
- Welded wire fabric shall be lapped two (2) full mesh panels and tied securely.
- Where required, dowels shall match size and number of main reinforcing and lap a min. of 480 (unless otherwise noted).
- Do not place concrete without favorably reviewed shop drawings.
- All construction joints shall be cleaned and moistened immediately prior to placing new concrete.
- Bar supports in contact with exposed surfaces shall be plastic tipped.
- No calcium chloride shall be used in any concrete.
- Concrete slabs shall have a monolithic finish and shall be screeded, compacted by rolling or tamping, floated off and graded as required. After sufficient hardening slab shall be protected and cured. Start curing as soon as possible without marking finish. Cover slabs with reinforced paper as required. Keep surface continuously moist for seven days or use a curing compound.
- Dry pack shall be one part sand, one part cement with enough water for placement.
- All bearing grout shall be non-shrink, nonmetallic with a minimum compressive strength of 5,000 psi.
- When installing expansion bolts or adhesive anchors, the contractor shall take measures to avoid drilling or cutting of any existing reinforcing and destruction of concrete. Holes shall be blown clean prior to placing bolts or adhesive anchors per manufacturer's recommendations.
- Patch concrete where required. Patching concrete shall be Sika Top 122 or 123 with epoxied pins where required by mfg.

STRUCTURAL STEEL NOTES:

- Detailing, fabrication and erection shall comply with AISC specifications and codes, latest editions as amended by the 2015 International Building Code.
- Structural steel channels, angles, plates and bars shall be ASTM A36, unless otherwise noted. W shapes shall be ASTM A992, HSS shapes shall be ASTM A500 GR. B.
- Bolts, nuts and washers shall comply with ASTM A325. bolts shall be a minimum 3/4 inch diameter, unless otherwise noted.
- At bolted connections provide a minimum of two (2) bolts.
- Submit shop drawings for all work. Do not proceed with any fabrication until the shop drawings are favorably reviewed. Shop drawings shall be based on field verified conditions.
- Allow for a two-week review period (min.) for shop drawings, and time all submissions accordingly.
- Provide any measures required for stability of structure during erection.
- After fabrication, clean steel of all rust, loose mill, scale and other foreign materials.
- All welding shall be done by qualified welders and shall conform to "AWS structural welding code - steel", latest edition. Welders shall be licensed in accordance with all requirements of the building code of the City of White Plains, and the rules and regulations of the board of standards and appeals.
- Welding electrodes shall be E70xx for new construction, and E60 low-hydrogen for existing. Provide chemical analysis and weldability tests prior to fabrication.
- Welding shall be performed in a manner that would avoid any detrimental overheating of existing load bearing steel.
- Welding should be performed in as symmetrical a way as possible.
- Minimum fillet welds shall comply with AISC, but shall not be less than 1/4 inch, unless otherwise noted.
- Provide fireproof blankets and other fire protection measures as required for fire safety during welding.
- Surfaces of all steel that is to receive welds shall be power brushed and cleaned thoroughly of all foreign matter and painted for a distance of 2 inches from each side of the outside lines of weld.
- All field welding areas shall be touched up on site where paint is required.
- All live loads shall be removed from areas being welded during construction.

- All exterior steel shall be painted with the following system by TNEMEC or equal. (paint systems to be verified with TNEMEC for applicability of intended use).

Surface prep: sspc-sp3 power tool clean
Prime: V10-99 or 4 versare, 2-3 mils dft
Intermediate: 2h or 23 enduratone, 2-3 mils dft
Finish: 2h or 23 enduratone, 2-3 mils dft

- For all required fireproofing and painting see construction drawings.

- All exterior exposure bolts, shims, and other hardware shall be galvanized and touched up with zinc rich paint.

- Fabricate beams with the natural camber up. Provide cambers as indicated on the drawings.

- Where steel members are required to be spliced, the splice shall be made to develop the full strength of the section. Such splices shall not interfere with any architectural or mechanical design and clearances. Submit shop drawing of splice detail, location and calculation signed and sealed by the contractor's professional engineer.

- The contractor shall be responsible for the control of all erection procedures and sequences with relation to temperature differentials.

- All additional steel requirements by the contractor for erection purposes shall be removed by the contractor, unless approved by the owner in writing.

TIMBER & LUMBER NOTES

- Details of all wood framing shall conform to the requirements of the 2018 International Building Code.

- Design, fabrication, and construction of wood framing shall conform with the following codes and standards: "National Design Specifications for Wood Construction", American Forest and Paper Association. "Timber Construction Manual", latest edition, as adopted by the American Institute of Timber Construction, including the "Code of Standard Practice", AITC 106.

- All timber connections shall be able to develop the full capacity of the members attached. All connection hardware shall be Simpson Strong-Tie CO. or approved equivalent.

- All framing lumber shall be Douglas Fir NO. 2 with a minimum unfactored basic FB=875 PSI and E=1,400,000 PSI.

- Engineered lumber for beams shall be 2.0E parallam PSI by ILevel (Weyerhaeuser) Company or approved equivalent and shall have a minimum FB=2,900 PSI, E=2,000 KSI, and FV=290 PSI.

- LPI/TJI joist web stiffeners and web fillers shall be erected in accordance with the mfg. requirements. (TYP.)

- Stagger plywood sheathing panel and joists. Allow 1/8" spacing at panel ends and edges unless otherwise recommended by the sheathing mfg. All plywood shall be min. 1/2" "CDX" exterior grade for siding and min. 5/8" "CDX" for roof decking, or as indicated on plans.

- All dimensional lumber to be marked "S-DRY" with a maximum of 19% moisture content. Comply with dry size requirements of PS 20.

- Notches in existing or new framing shall not be allowed without the permission of the Architect.

- Do not cut and re-frame any lumber without the permission of the Architect.

- Nailing shall conform to Table 2304.10.1 of the 2015 IBC.

- Secure loose timber connections.

- Members shall be set with crown up and have a minimum of 4" bearing.

- Provide shop drawings for all requested items.

- Provide secured steel shims at the new wood joists/trimmers bearing as required for fit. Cut bottom of joist at bearing up to 1" if required for fit.

- Provide new intermediate lines so that lines of maximum spacing between bridging and support is a maximum of 6'-0" C.C. Restore any removed or missing bridging as required.

- Lumber size and spacing as indicated on Working Drawings.

- Roof trusses wider than 24" o.c. shall have 2" x 4" wood blocking under all plywood joints (if applicable).

- Double joists under all partitions running parallel with floor spans and around all floor openings. Double rafters & ceiling joists around all skylight openings (if applicable).

DOORS & WINDOWS

- All doors and windows shall be size, type and fire rating indicated on plans and schedules. All windows shall be regular double pane, low E insulated glass by Anderson Windows Mfg. or approved equivalent.

- Exterior doors shall have insulating cores with an aluminum saddle or equivalent indicated on plans. All doors to garages and mechanical rooms shall be equipped with self-closing hinges. All door fire rating shall be as indicated on plans. Also see individual notes on plans for sizes and model #.

FINISHES

- Masonry Walls - Split-rib block to be treated with waterproofing agent upon completion (if applicable).

- Frame Walls - Frame walls shall receive gypsum board panels (thickness - indicated on Plans) which shall receive (1) coat or primer and (2) coats of paint providing a washable finished surface. Bathrooms shall receive standard crystalline ceramic tile, or per Owner's instructions.

- All plumbing fixtures, sinks, tubs, showers, WC's, faucets, and miscellaneous plumbing fixtures to be selected by Owner.

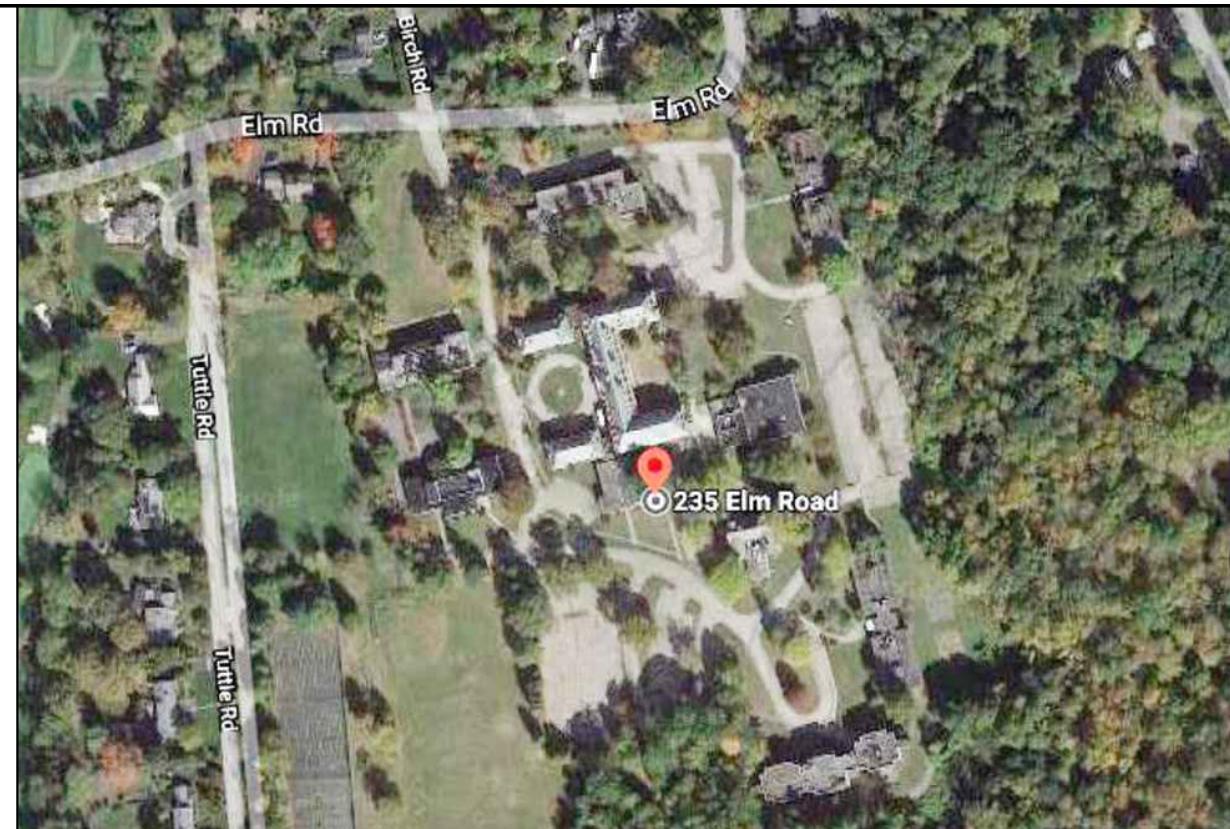
OTHER MISCELLANEOUS ITEMS:

- The Contractor shall at any time provide access to the Architect to verify quantities & observe the work & shall provide rigging & scaffolding assistance if necessary. The Contractor must comply with all the scaffolding rules and regulations promulgated by the White Plains Department of Buildings and any other agencies having jurisdiction and must obtain all necessary permits for the installation of all such equipment.

- The Contractor shall include the following miscellaneous items in his Base Bid:

- Sidewalk Bridging (if applicable)
- Mobilization, Scaffolding, Rigging, Insurance, Permits, etc.

THESE WORKING DRAWINGS, RELATED SPECIFICATIONS, SCOPE OF WORK & SCHEDULE OUTLINES ARE NOT TO BE UTILIZED UNLESS MAX PARANGI ARCHITECTS, P.C. IS RETAINED TO MONITOR THE PROGRESS OF THE PROJECT. THE CONTRACTOR MUST PROVIDE NETTING AND SIDEWALK BRIDGING FOR THIS WORK (IF REQUIRED) IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES, RULES & REGULATIONS. HE MUST OBTAIN AND PAY FOR ALL NECESSARY SUCH PERMITS & FEES FOR BRIDGING, RIGGING & SCAFFOLDING. THE CONTRACTOR SHALL SUBMIT MANUFACTURERS' LITERATURE AND CATALOGUE CUTS, SHOP DRAWINGS, SAMPLES, & INSTALLATION INSTRUCTIONS FOR ALL MATERIALS TO BE USED ON THIS PROJECT. THIS INFORMATION SHALL BE SUBMITTED TO THE ARCHITECT'S OFFICE MIN. 30 CALENDAR DAYS FOR APPROVAL PRIOR TO COMMENCEMENT OF PROJECT.



LOCATION MAP

NOT TO SCALE



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ADA COMPLIANCE

ACCESSIBILITY

- Thresholds at doorways will not exceed 1/2" in height as per Section 404.2.5

- Door widths shall be a minimum of 32" in compliance with Section 404.2.3

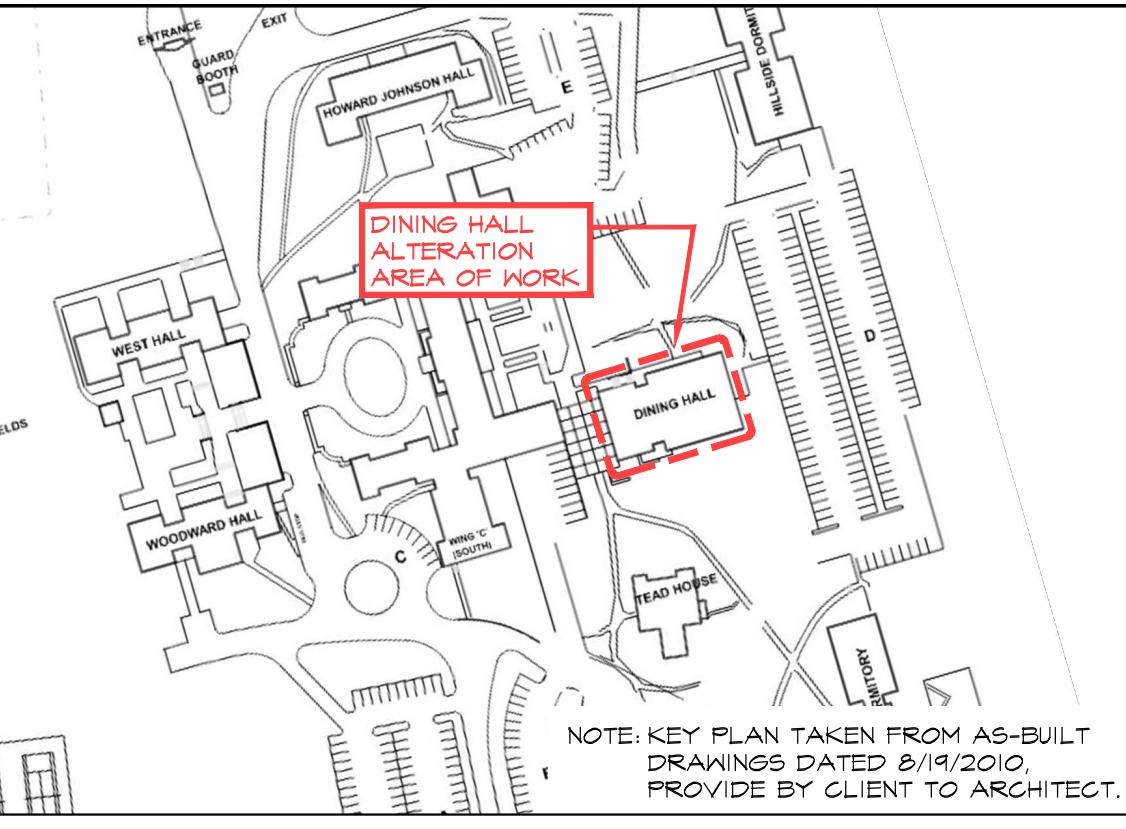
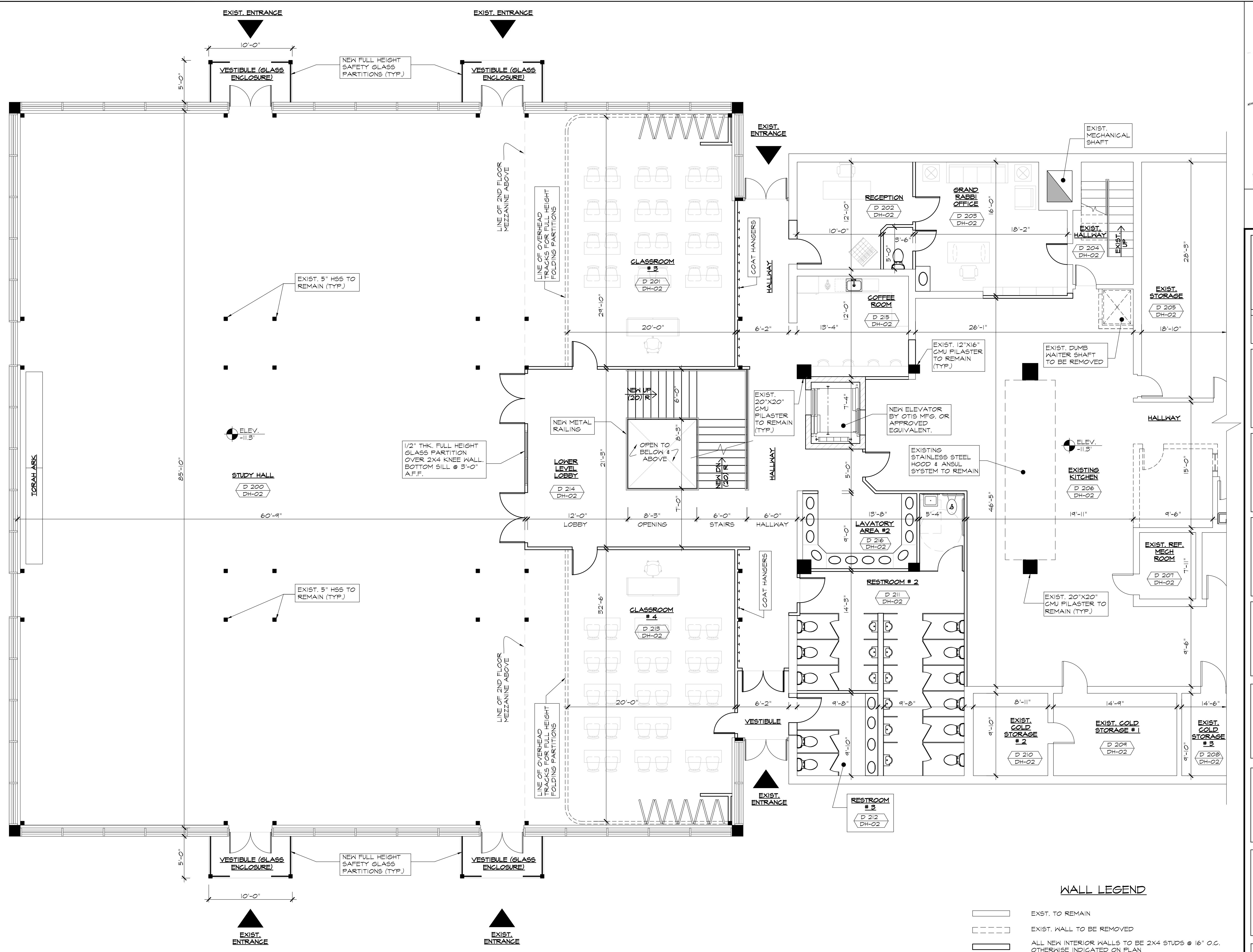
- Handles, pulls, latches, locks and other operating devices on accessible doors shall comply with Section 404.2.7

REVISIONS		

ISSUE LOG	06/17/21 - TO CLIENT FOR PB REVIEW

PROJECT/CLIENT	YESHIVATH VIZNITZ DINING HALL ALTERATION DOW HALL SOUTHERN WING 'C' POOL HOUSE ALTERATION 235 ELM ROAD BRIARCLIFF MANOR, NY 10510
DRAWINGS	- GENERAL SPECIFICATION - ADA COMPLIANCE - LOCATION MAP

REGISTERED ARCHITECT MAX PARANGI ARCHITECTS P.C. No. 022268	DATE: 06/17/21 PROJECT NO.: 21016 DRAWN BY: CN/RP/SV CHK. BY: MP DWG. NO.: PAGE NO.: 2 OF 6
	T-2



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NOT TO SCALE



PARANGI ARCHITECTS P.C.

NEW YORK OFFICE
ELLWOOD ROAD, SUITE 114

NEW JERSEY OFFICE
7 DANIEL DRIVE

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REVISIONS			
06/17/21 - TO CLIENT FOR PB REVIEW			

PROJECT/CLIENT
YESHIVATH VIZNITZ
PRINCING HALL ALTERATION
5 ELM ROAD
RIARCLIFF MANOR, NY 10510

- KEY PLAN
- DINING HALL FIRST FLOOR PLAN



DATE: 06/17/21

DATE: 06/17/21

PROJECT NO.: 21016

PRINTED BY: CN/RP/SV

W. BY: MP

VG. NO.:

PAGE NO. : 4 OF 6

PAGE NO.: 4 OF 6

A-2

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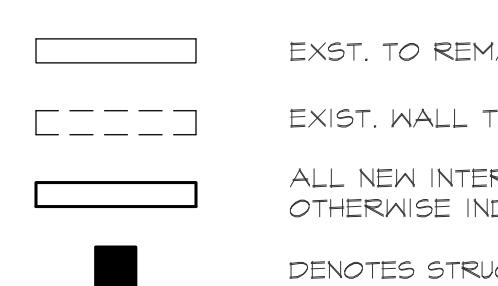
DINNING HALL FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

This architectural floor plan illustrates a building section with the following key features and dimensions:

- Classrooms:** Classroom #1 (30'-7" x 37'-1") and Classroom #2 (30'-8" x 37'-1").
- Offices:** Office (D 312 DH-03), Staff Bathroom #2 (D 310 DH-03), Faculty Office (D 309 DH-03), and Principal's Office (D 306 DH-03).
- Bathrooms:** Staff Bathrooms #1 (D 307 DH-03) and #2 (D 308 DH-03), and a Dean's Lecture Room (D 301 DH-03).
- Hallways:** A central hallway (7'-0" wide) connects the rooms, with a staff entrance on the right.
- Stairs:** A central staircase (8'-3" opening) connects the floors.
- Stairwell:** A new metal railing is installed on the staircase.
- Partitions:** 1/2" thick, full-height glass partitions are installed over 4" knee walls in the central corridor.
- Lighting:** Numerous light fixtures are shown throughout the rooms.
- Dimensions:** Various room dimensions are indicated, such as 30'-7" for Classroom #1, 37'-1" for Classroom #2, and 12'-9" for the Dean's Lecture Room.
- Labels:** Labels include "OPEN TO BELOW", "EXIST. 5" HSS TO REMAIN (TYP.)", "NEW DN (20')", "NEW ELEVATOR BY OTIS MFG. OR APPROVED EQUIVALENT.", "DATUM ELEV.: 0.0'", "LINE OF EXIST. CEILING CHANGE ABOVE", "EXIST. ENTRANCE", and "COVERED ENTRANCE ABOVE".

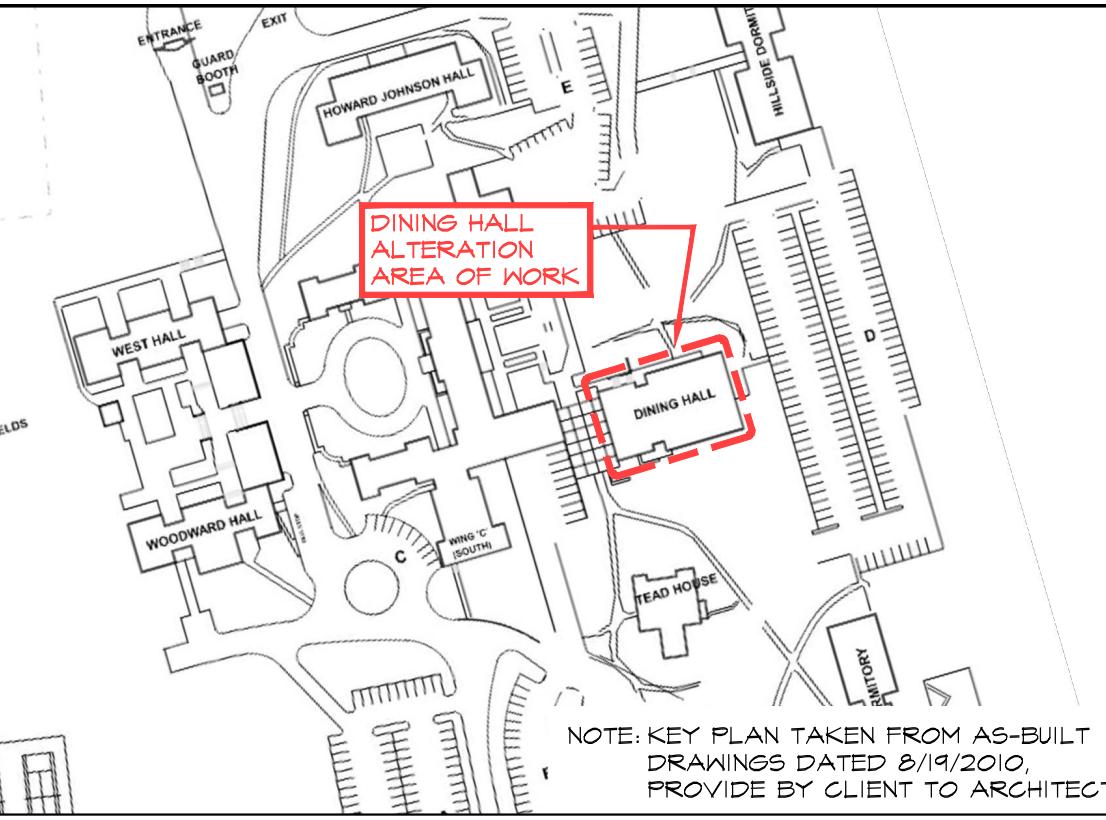
WAI | I | FGFND



- EXST. TO REMAIN
- EXIST. WALL TO BE REMOVED
- ALL NEW INTERIOR WALLS TO BE 2X4 STUDS @ 16" O.C.
OTHERWISE INDICATED ON PLAN
- DENOTES STRUCTURAL COLUMNS. SEE PLANS FOR DETAILS

<divDINNING HALL MEZZANINE FLOOR PLAN!

SCALE: 3/16" = 1'-0"



KEY PLAN

NOT TO SCALE



PARANGI ARCHITECTS P.C.

NEW YORK OFFICE
11 WOOD ROAD, SUITE 114

NEW JERSEY OFFICE
7 DANIEL DRIVE

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REVISIONS			

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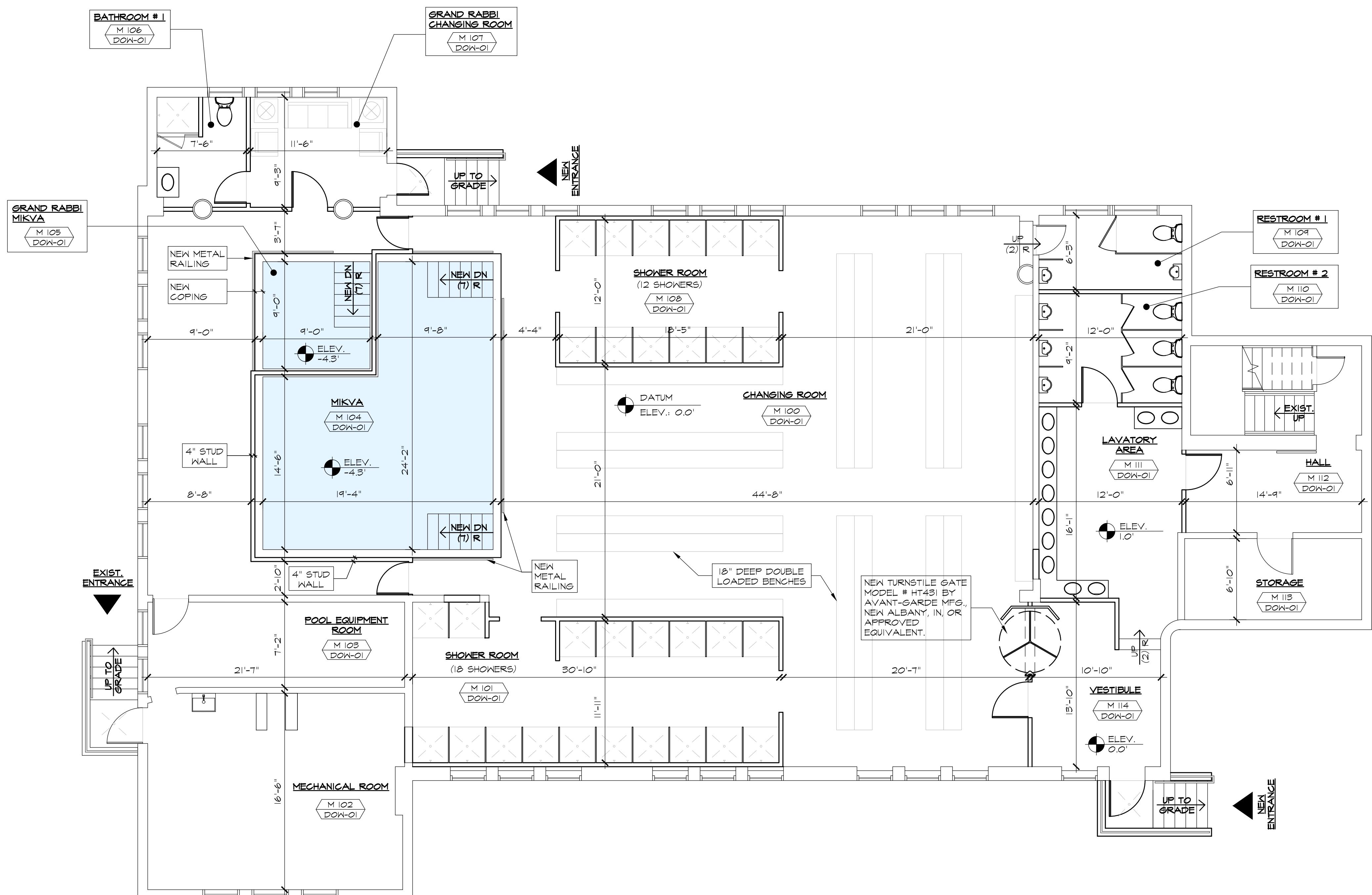
PROJECT/CLIENT

YESHIVATH VIZNITZ
DINING HALL ALTERATION

235 ELM ROAD
BRIARCLIFF MANOR, NY 10510

DRAWINGS	
<ul style="list-style-type: none">- KEY PLAN- DINING HALL MEZZANINE FLOOR PLAN	
 A circular blue ink stamp of the New York State Registered Architect seal. It features a central figure holding a compass and a square, surrounded by the text "REGISTERED ARCHITECT", "MAX PARANGI", "S.", "No. 022288", and "STATE OF NEW YORK". A handwritten signature "Mark" is written across the center of the seal.	
DATE:	06/17/21
PROJECT NO.:	21016
DRAWN BY:	CN/RP/SV
CHK. BY:	MP
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A-3

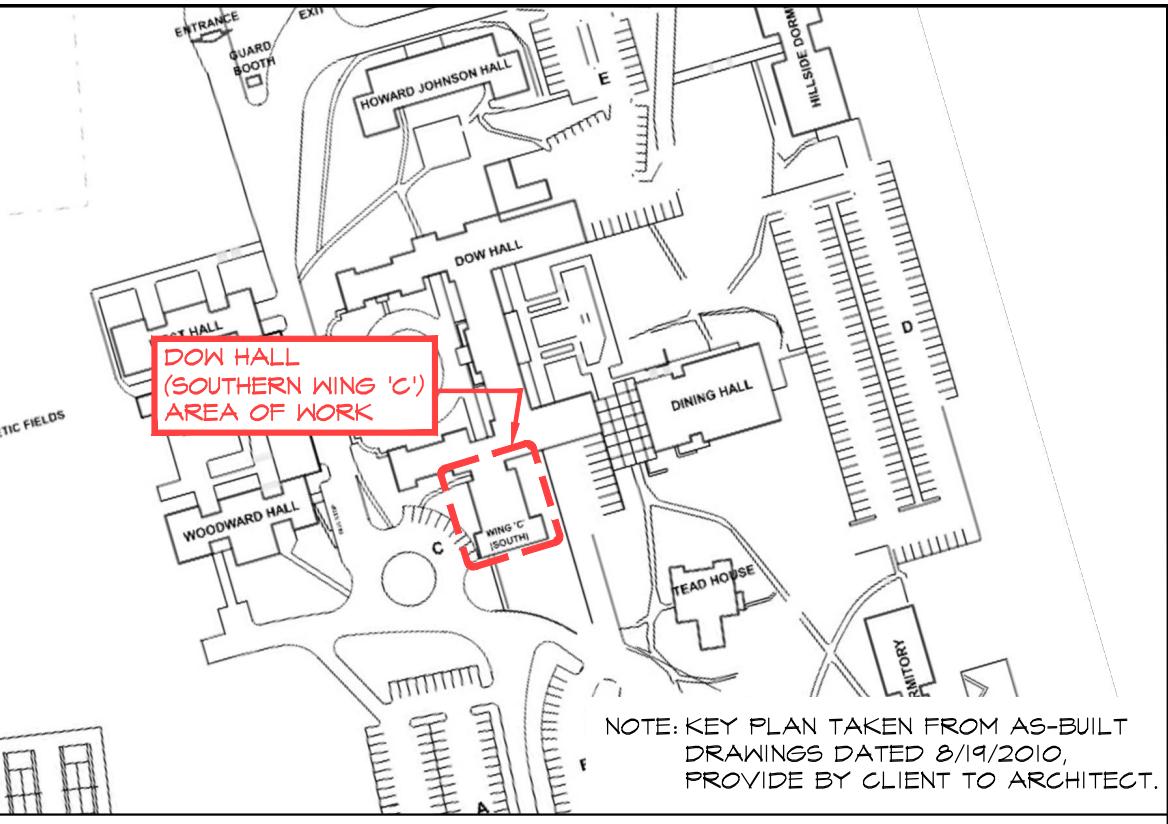


MIKVA FLOOR PLAN (DOW HALL SOUTHERN WING 'C')

SCALE: 3/16" = 1'-0"

WALL LEGEND

- EXIST. TO REMAIN
- EXIST. WALL TO BE REMOVED
- ALL NEW INTERIOR WALLS TO BE 2x4 STUDS @ 16" O.C. OTHERWISE INDICATED ON PLAN
- DENOTES STRUCTURAL COLUMNS. SEE PLANS FOR DETAILS



KEY PLAN

NOT TO SCALE



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REVISIONS	
ISSUE LOG	06/17/21 - TO CLIENT FOR PB REVIEW

PROJECT/CLIENT
YESHIVATH VIZNITZ
DOW HALL SOUTHERN WING 'C' POOL HOUSE ALTERATION
235 ELM ROAD
BRIARCLIFF MANOR, NY 10510

DRAWINGS	<ul style="list-style-type: none"> - KEY PLAN - MIKVA FLOOR PLAN (DOW HALL SOUTHERN WING)
DATE:	06/17/21
PROJECT NO.:	21016
DRAWN BY:	CN/RP/SV
CHK. BY:	MP
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