

PRELIMINARY PUD APPROVAL DRAWINGS

RENAISSANCE
BRIARCLIFF MANOR

TAX MAP SECTION 98.19 | BLOCK 2 | LOT 10 & 11
WESTCHESTER COUNTY
235 ELM ROAD
VILLAGE OF BRIARCLIFF MANOR, NEW YORK

Applicant:
ROSE ENTERPRISES GROUP, INC.
8383 WILSHIRE BOULEVARD, SUITE 632
BEVERLY HILLS, CA 90211
(310) 880-6036

Attorney:
ZARIN & STEINMETZ
81 MAIN STREET, SUITE 415
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**Site Planner, Civil & Traffic Engineer,
Surveyor and Landscape Architect:**

JMC JMC PLANNING ENGINEERING LANDSCAPE
ARCHITECTURE & LAND SURVEYING, PLLC
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ARMONK, NY 10504
(914) 273-5225

Architect of Record:
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31 MAMARONECK AVENUE, 7TH FLOOR
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(914) 761-6006

Geotechnical Engineer:
SESI CONSULTING ENGINEERS
959 ROUTE 46E FLOOR 3, SUITE 300
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(973) 808-9050

JMC DRAWING LIST:

CS COVER SHEET
C-000 OVERALL EXISTING CONDITIONS MAP
C-070 DEMOLITION PLAN
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C-110 LAYOUT PLAN
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ARCHITECTURAL RENDERING
SOURCE: SULLIVAN ARCHITECTURE

TABLE OF LAND USE

SECTION 98.19, BLOCK 2, LOT 11
EXISTING ZONE: R-40B SINGLE-FAMILY RESIDENCE DISTRICT
PROPOSED ZONE: DOWNTOWN ADJACENT PLANNED UNIT DEVELOPMENT (PUD) DISTRICT
FIRE DISTRICT: BRIARCLIFF FIRE DISTRICT
WATER DISTRICT: BRIARCLIFF MANOR VILLAGE WATER DISTRICT
SCHOOL DISTRICT: BRIARCLIFF MANOR UFSD
SEWER DISTRICT: SAW MILL SANITARY SEWER DISTRICT

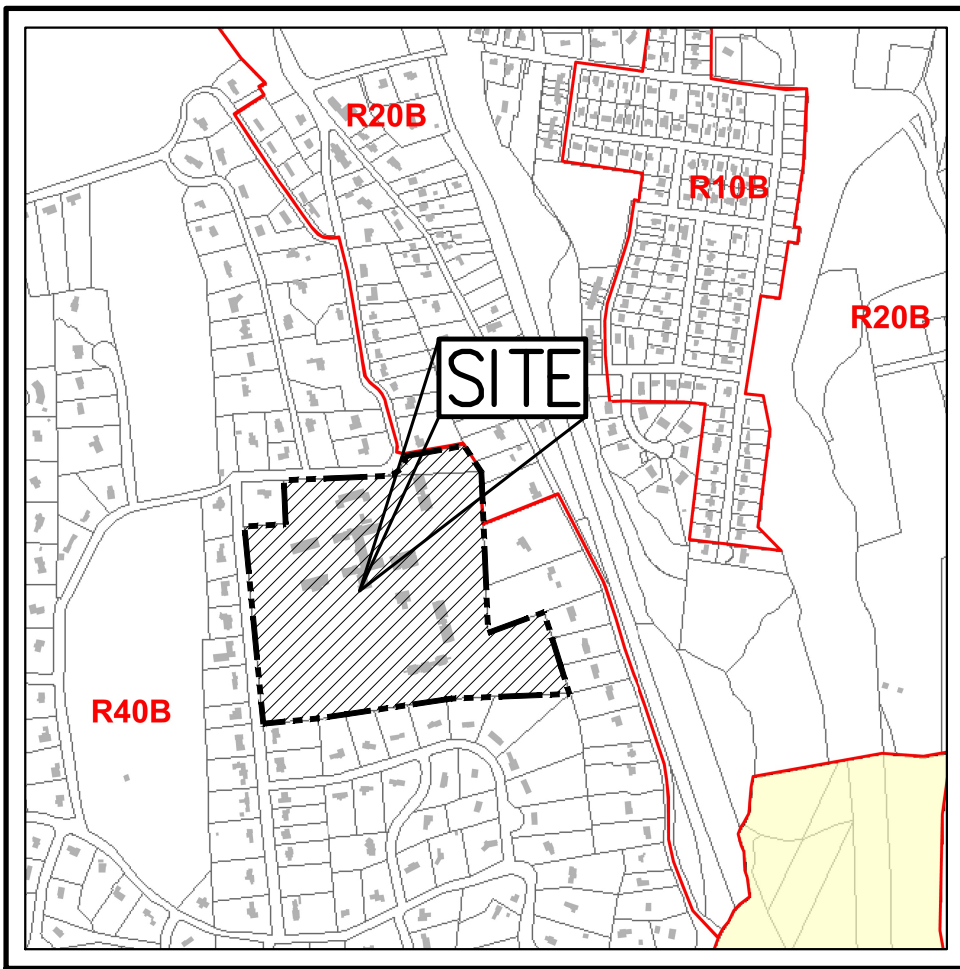
DESCRIPTION	REQ'D (R-40B)	REQ'D (PUD)	EXISTING	PROPOSED
MAXIMUM DISTANCE FROM FRONTAGE TO CB1 DISTRICT (MILES)	N/A	0.75	0.7	0.7
MINIMUM SITE AREA (ACRES)	0.92	30	37.17	33.79
LOT WIDTH AT FRONT YARD SETBACK (FEET)	150	N/A	979.1	979.1
MAXIMUM BUILDING HEIGHT (FEET)	30	45	<45	<45
MAXIMUM IMPERVIOUS COVERAGE (%)	N/A	45	28.08	30.95
MAXIMUM BUILDING COVERAGE (%)	12	N/A	6.97	15.93

YARDS

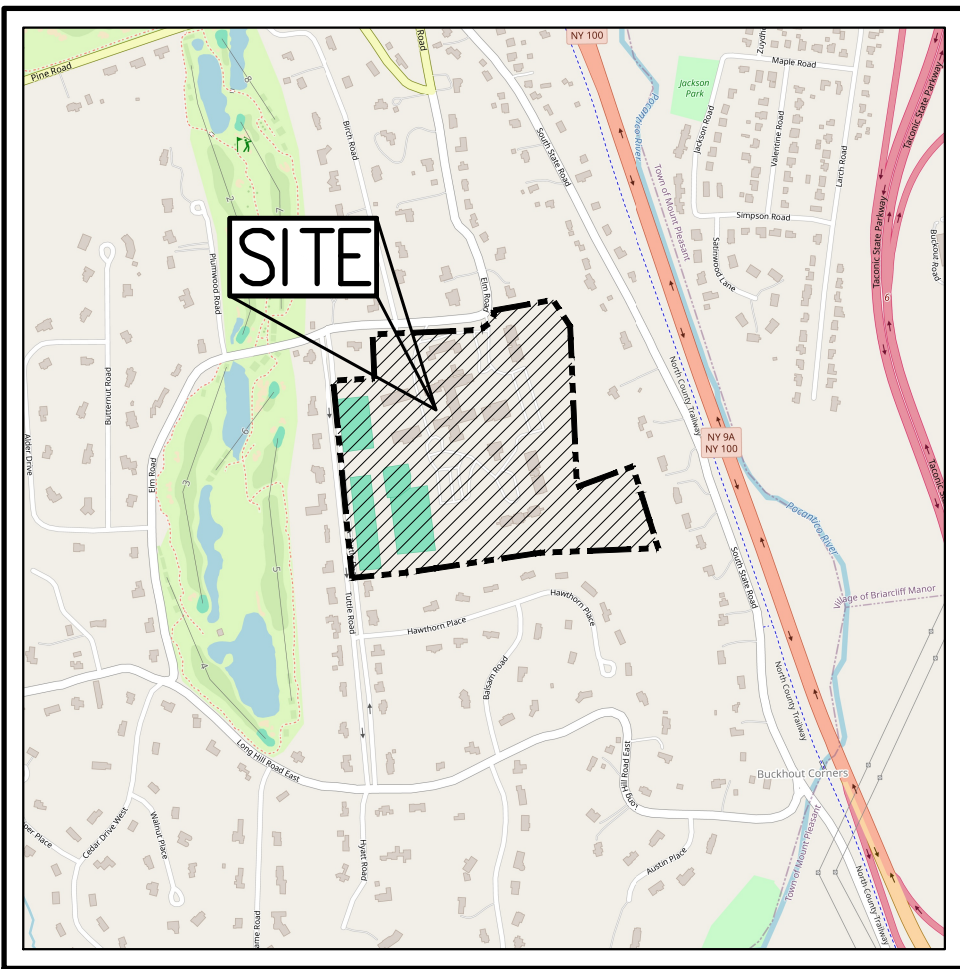
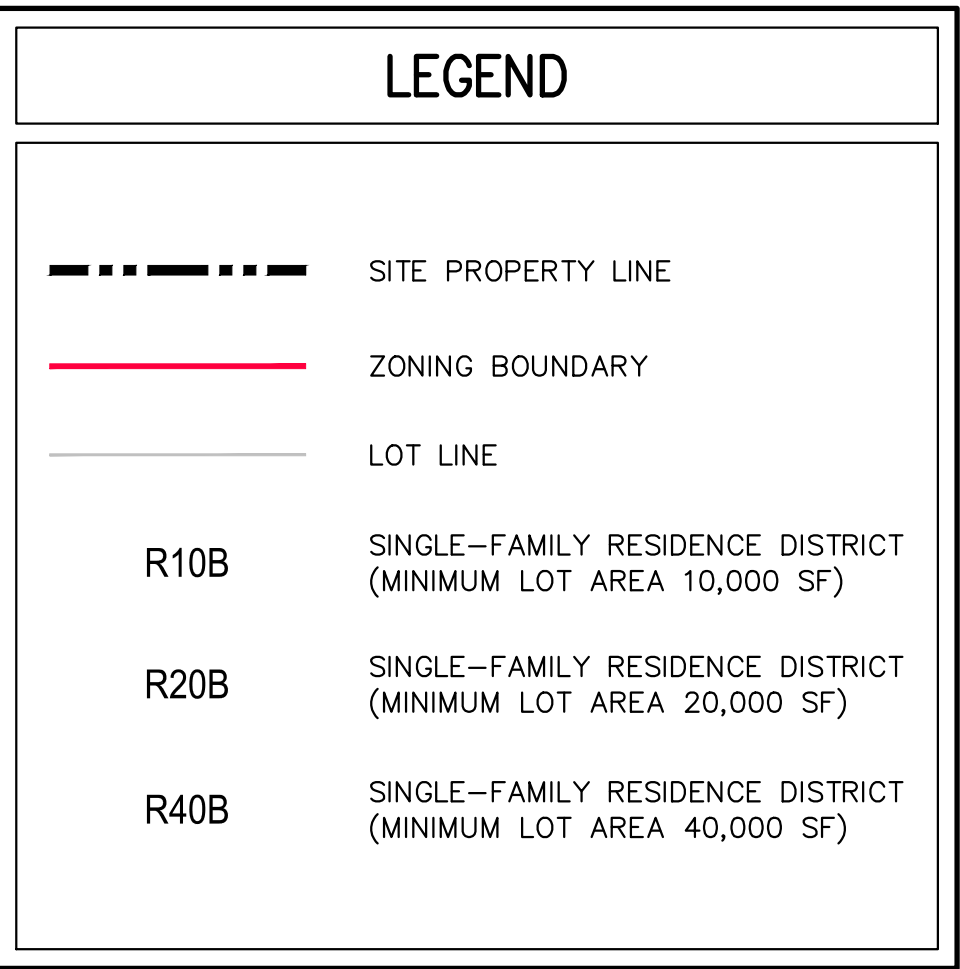
FRONT BUILDING SETBACK (FEET)	40	N/A	68.7	47.9
REAR BUILDING SETBACK (FEET)	35	N/A	141.3	141.9
SIDE BUILDING SETBACK (ONE SIDE) (FEET)	22	N/A	176.3	70.2
SIDE BUILDING SETBACK (BOTH SIDES) (FEET)	50	N/A	407.8	149.5

PARKING SUMMARY

TOTAL SPACES REQUIRED (SPACES)	2/UNIT	N/A	—	—
TOTAL SPACES PROVIDED (SPACES)	—	—	300	268
STANDARD SPACES PROVIDED (SPACES)	—	—	294	264
HANDICAP SPACES PROVIDED (SPACES)	—	—	6	4



ZONING MAP
SCALE: 1" = 1,000'



VICINITY MAP
SCALE: 1" = 1,000'

GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7962) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE, WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDUE INTERRUPTION OF UTILITY SERVICE.
- CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC, PLLC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC, PLLC.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
- ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA), AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISION OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYS DOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE. RAMPING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
- CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.

SUBSURFACE UTILITY LOCATIONS ARE BASED ON A COMPILED OF FIELD EVIDENCE, AVAILABLE RECORD PLANS AND/OR UTILITY MARK-OUTS. THE LOCATION OR COMPLETENESS OF UNDERGROUND INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.



No.	Revision	Date	By

Previous Editions Obsolete

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

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Scale:	NOT TO SCALE		
Date:	10/14/2025		
Project No:	24072		
24072-COVER	COVER	COVER	COVER
Drawing No:	CS		

NOT FOR CONSTRUCTION

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LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING WETLAND LINE AND DELINEATION
- EXISTING BUILDING OVERHANG
- EXISTING BUILDING LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING STONE WALL
- EXISTING RETAINING WALL
- EXISTING GUIDE RAIL
- EXISTING FENCE
- EXISTING TREE AND DESIGNATION
- EXISTING TREE LINE
- EXISTING DIRECTIONAL ARROWS
- EXISTING PAINT
- EXISTING PARKING WITH NUMBER OF SPACES
- EXISTING HANDICAP PARKING WITH NUMBER OF SPACES
- EXISTING PEDESTRIAN CROSSING
- EXISTING STORM DRAIN LINE AND SIZE
- EXISTING SANITARY LINE AND SIZE
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD WIRES
- EXISTING DRAIN INLET
- EXISTING MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- BORING LOCATION AND DESIGNATION

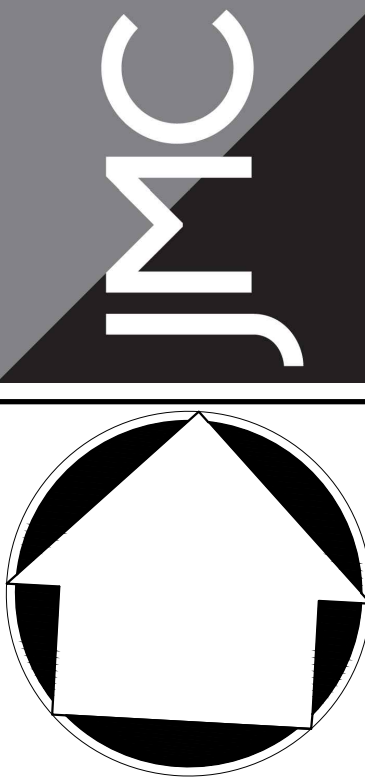
NOTES

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC & UTILITY SURVEY," PREPARED BY JMC PLLC, DATED 09/08/2025.
- GEOTECHNICAL BORING/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED, "EXPLORATION LOCATIONS," DATED 10/17/2024, PREPARED BY SES CONSULTING ENGINEERS.

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OVERALL
EXISTING CONDITION MAP

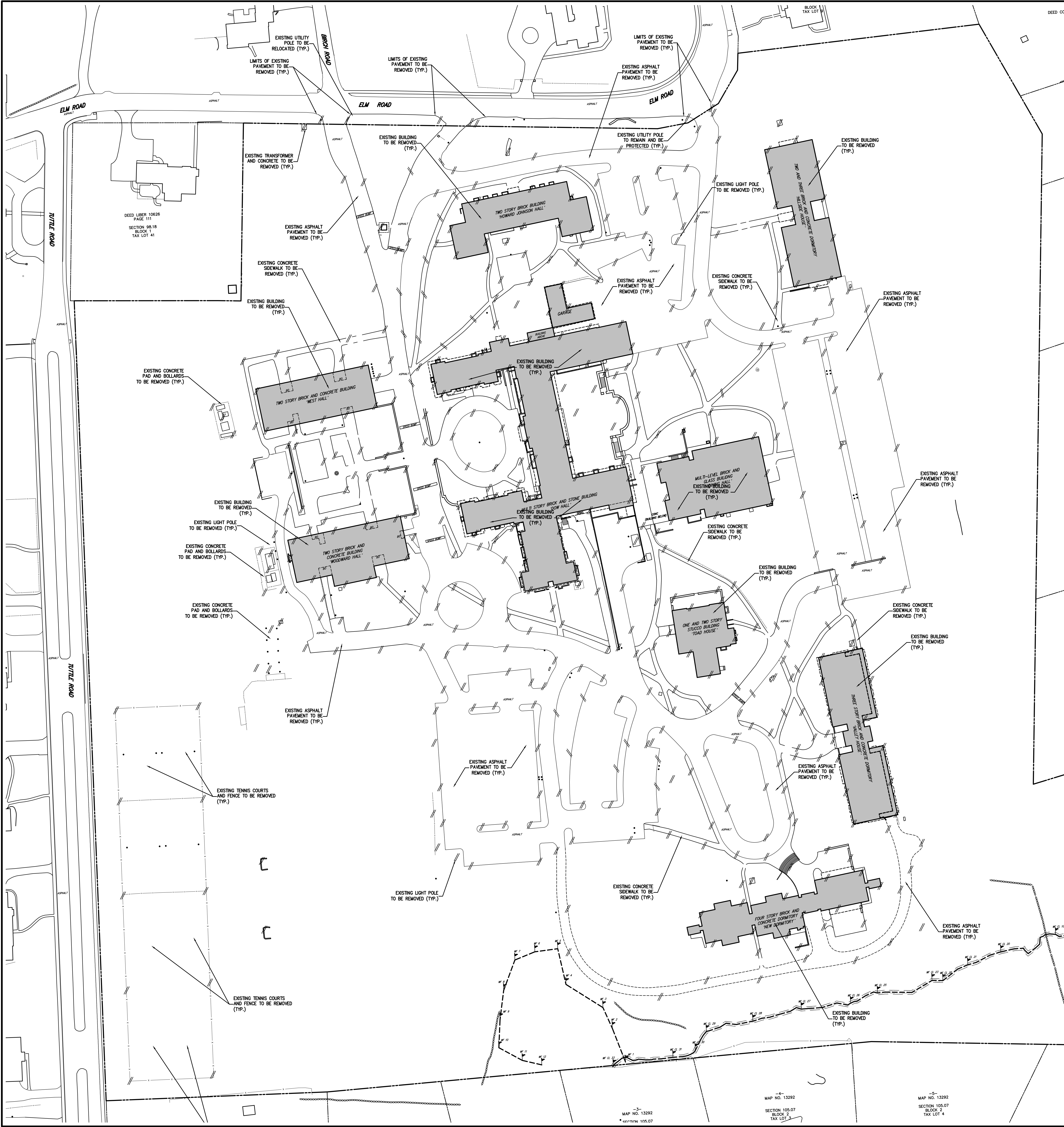
235 ELM ROAD
VILLAGE OF
BRIARCLIFF MANOR
NEW YORK

Drawn: CS Approved: DV
Scale: 1" = 50'
Date: 10/14/2025
Project No: 24072
Sheet: 001 of 001
Drawing No: C-000

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LEGEND

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EXISTING WATER VALVE
EXISTING UTILITY POLE
EXISTING LIGHT POLE
EXISTING SIGN
BORING LOCATION AND DESIGNATION
EXISTING FEATURE TO BE REMOVED
PROPOSED SANIQU LINE

- NOTES**
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 - THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES TO BE DEMOLISHED AND EXISTING UTILITIES TO BE PROTECTED. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR AND JMC PRIOR TO THE START OF CONSTRUCTION.
 - PRIOR TO THE START OF ANY DEMOLITION THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND/OR APPROVALS FROM THE VILLAGE OF BRIARCLIFF MANOR AND ALL OTHER AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL PAY ALL OUTSTANDING FEES, CHARGES, AND DEPOSITS TO ACQUIRE SAID PERMITS. NO DEMOLITION SHALL COMMENCE UNTIL A PERMIT HAS BEEN OBTAINED FROM THE VILLAGE OF BRIARCLIFF MANOR.

- THE CONTRACTOR SHALL COORDINATE THE DISCONNECTION OF ALL UTILITIES WITH THE UTILITY COMPANY HAVING JURISDICTION PRIOR TO THE START OF DEMOLITION. CONFIRMATION OF DISCONNECTED UTILITIES SHALL BE PROVIDED TO THE VILLAGE OF BRIARCLIFF MANOR BUILDING DEPARTMENT IN ACCORDANCE WITH THEIR REQUIREMENTS. LETTERS FROM THE APPROPRIATE UTILITIES STATING THAT GAS AND ELECTRIC HAVE BEEN CUT OFF SHALL BE PROVIDED TO THE VILLAGE OF BRIARCLIFF MANOR.
- THE CONTRACTOR SHALL OBTAIN, AND PROVIDE A COPY TO THE VILLAGE OF BRIARCLIFF MANOR, A SEWER PLUG PERMIT INDICATING THAT A LICENSED PLUMBER HAS PLUGGED ALL EXISTING SEWER LINES TO THE EXISTING BUILDING. THE CONTRACTOR SHALL OBTAIN, AND PROVIDE A COPY TO THE VILLAGE OF BRIARCLIFF MANOR, A WATER USE PERMIT INDICATING THAT A LICENSED PLUMBER HAS CUT AND SEALED ALL EXISTING WATER SERVICE TO THE EXISTING BUILDING.
- ANY UNSUITABLE MATERIAL FOUND ON-SITE DURING DEMOLITION/CONSTRUCTION, AS DETERMINED BY THE PROJECT'S GEOTECHNICAL ENGINEER, SHALL BE PROPERLY DISPOSED OF OFF-SITE IN A MANNER APPROVED BY ALL AUTHORITIES HAVING JURISDICTION AND REPLACED WITH SUITABLE MATERIAL AS REQUIRED.
- ANY UNSUITABLE MATERIAL FOUND ON-SITE DURING CONSTRUCTION SHALL BE DISPOSED OF OFF-SITE IN A MANNER APPROVED BY ALL AUTHORITIES HAVING JURISDICTION AND REPLACED WITH SUITABLE MATERIAL AS REQUIRED. REMOVAL AND REPLACEMENT OF UNSUITABLE MATERIAL SHALL BE COMPLETED UNDER THE DIRECT SUPERVISION OF A GEOTECHNICAL ENGINEER.
- ALL DEMOLITION AND/OR CONSTRUCTION WITHIN THE RIGHT-OF-WAY, INCLUDING STREETS AND SIDEWALKS, SHALL BE PERFORMED IN ACCORDANCE WITH THE VILLAGE OF BRIARCLIFF MANOR.
- ALL CONSTRUCTION/DEMOLITION DEBRIS NOT PROPOSED TO BE RECYCLED SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE IN ACCORDANCE WITH THE REGULATIONS OF ALL LOCAL, STATE AND FEDERAL AGENCIES HAVING JURISDICTION.
- EXISTING CONCRETE MAY BE STORED ON SITE, AND RECYCLED FOR USE AS COMPACTED FILL. ALL MATERIAL TO BE USED AS FILL SHALL BE APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
- PRIOR TO THE START OF SITE DEMOLITION, EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE VILLAGE OF BRIARCLIFF MANOR AND NYSDEC REQUIREMENT, AS REQUIRED AND/OR DIRECTED BY THE VILLAGE OF BRIARCLIFF MANOR OR JMC.
- EXISTING DRAINAGE PATTERNS ON SITE SHALL BE MAINTAINED TO THE MAXIMUM EXTENT PRACTICABLE.
- ALL EXISTING UTILITY CASTINGS WHICH ARE TO REMAIN SHALL BE REMOVED AND RESET TO THE NEW PROPOSED GRADES IN ACCORDANCE WITH THE DIRECTIONS OF THE OWNER'S FIELD REPRESENTATIVE. EXISTING CASTINGS WHICH ARE DAMAGED OR UNFIT FOR INSTALLATION IN THE NEW CONSTRUCTION, AS DETERMINED BY THE OWNER'S FIELD REPRESENTATIVE, SHALL BE REPLACED.
- ALL EXISTING SIDEWALKS, CURBS, PAVEMENT, ETC. TO REMAIN, WHICH ARE DISTURBED OR DAMAGED DUE TO THE NEW CONSTRUCTION, ARE TO BE REPLACED WITH MATERIALS CONSISTENT WITH EXISTING CONDITIONS.
- THESE PLANS ARE TO BE PROVIDED TO BOTH THE DEMOLITION CONTRACTOR AND THE SITE CONTRACTOR FOR THEIR USE, INFORMATION AND COORDINATION. ANY QUESTIONS OF CONTRACTOR RESPONSIBILITY AND/OR SEPARATION OF WORK SHALL BE DIRECTED TO THE GENERAL CONTRACTOR IN WRITING PRIOR TO ISSUANCE OF BID.
- THE OWNER SHALL RETAIN A LICENSED AND QUALIFIED PROFESSIONAL, CERTIFIED BY THE VILLAGE OF BRIARCLIFF MANOR, TO INSPECT FOR THE PRESENCE OF ASBESTOS AND/OR OTHER HAZARDOUS MATERIALS WITHIN DEMOLITION AREAS PRIOR TO THE COMMENCEMENT OF DEMOLITION. IF REMEDIATION IS REQUIRED, THE OWNER SHALL DO SO IN ACCORDANCE WITH THE VILLAGE OF BRIARCLIFF MANOR ASBESTOS RULES AND REGULATIONS AND/OR ANY AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED DOCUMENTATION TO THE VILLAGE OF BRIARCLIFF MANOR PRIOR TO OBTAINING A DEMOLITION PERMIT.
- THE CONTRACTOR SHALL EXTERMINATE RODENTS AS REQUIRED BY WESTCHESTER COUNTY DEPARTMENT OF HEALTH AND MENTAL HYGIENE. A LETTER FROM THE HEALTH DEPARTMENT CERTIFYING THAT A LICENSED EXTERMINATOR HAS TREATED THE EXISTING BUILDING SHALL BE PROVIDED TO THE VILLAGE OF BRIARCLIFF MANOR DEPARTMENT OF BUILDINGS.
- PRIOR TO COMMENCEMENT OF DEMOLITION, THE CONTRACTOR MUST PROVIDE 24-HOUR NOTIFICATION TO THE VILLAGE OF BRIARCLIFF MANOR.
- THE CONTRACTOR SHALL PROVIDE VERIFICATION TO THE VILLAGE OF BRIARCLIFF MANOR THAT FIVE (5) DAYS PRIOR NOTIFICATION WAS GIVEN TO ALL ADJOINING OWNERS AND THAT NOTIFICATION WAS GIVEN TO THE APPROPRIATE COMMUNITY BOARD PRIOR TO THE COMMENCEMENT OF DEMOLITION.
- ALL EXISTING TREES NOT SHOWN TO BE REMOVED SHALL BE PROTECTED DURING CONSTRUCTION.

DEMOLITION PLAN

235 ELM ROAD
VILLAGE OF
BRIARCLIFF MANOR
NEW YORK

RENAISSANCE

JMC

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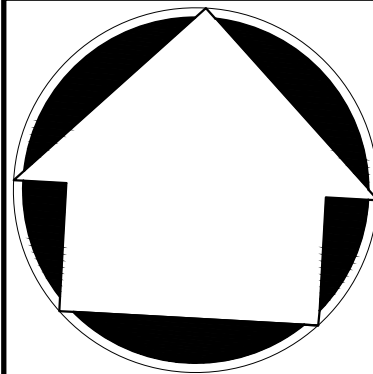
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Project No: 24072
Drawing No: DEMO-001

C-070

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OVERALL SUBDIVISION PLAN

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Scale:	1" = 50'	
Date:	10/14/2025	
Project No:	24072	
24072-LU1	SUBDIVISION	LAY.scr
Drawing No:		
C-100		

JMC

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JMC Site Development Consultants, LLC

John Mayer Consulting, Inc.

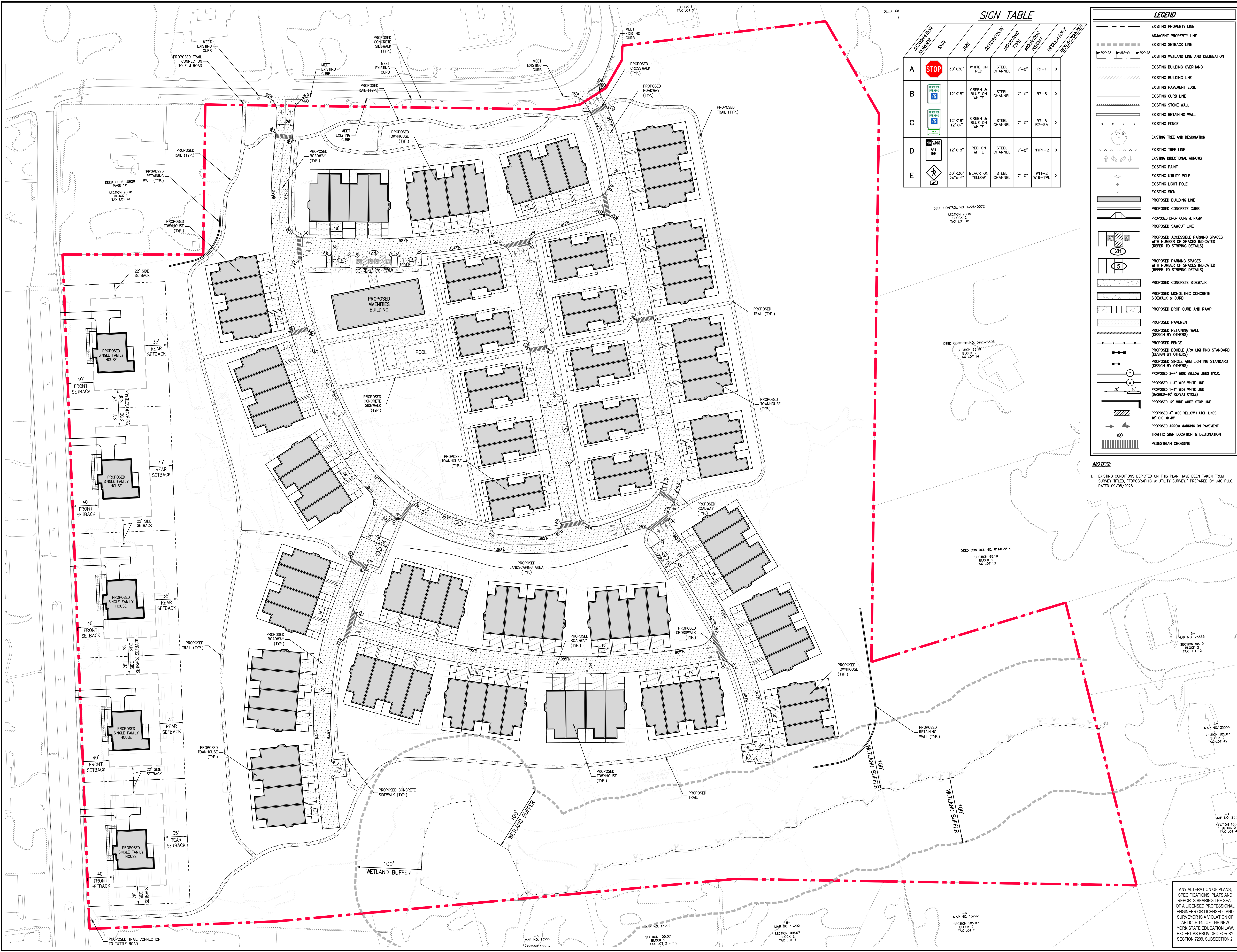
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<p>APPLICANT/TOWNER:</p> <p>ROSE ENTERPRISES GROUP, INC. 8383 WILSHIRE BOULEVARD, SUITE 632 BEVERLY HILLS, CA 90211</p>	<p>ARCHITECT OF RECORD:</p> <p>SULLIVAN ARCHITECTURE, P.C. 31 MAMARONECK AVENUE, 7TH FLOOR WHITE PLAINS, NY 10610</p>
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SIGN TABLE		SIGN		SIZE	DESCRIPTION	MOUNTING TYPE	MOUNTING HEIGHT	REGULATORY	RECOMMENDED
A	STOP	30"x30"	WHITE ON RED	STEEL CHANNEL	7'-0"	R1-1	X		
B	RESERVED PARKING	12"x18"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-8	X		
C	RESERVED PARKING	12"x18"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-8	X		
D	NO PARKING ANY TIME	12"x18"	RED ON WHITE	STEEL CHANNEL	7'-0"	NYP1-2	X		
E	PEDESTRIAN CROSSING	30"x30"	BLACK ON YELLOW	STEEL CHANNEL	7'-0"	W11-2	X		

LEGEND

EXISTING PROPERTY LINE

ADJACENT PROPERTY LINE

EXISTING SETBACK LINE

EXISTING WETLAND LINE AND DELINEATION

EXISTING BUILDING OVERHANG

EXISTING BUILDING LINE

EXISTING PAVEMENT EDGE

EXISTING CURB LINE

EXISTING STONE WALL

EXISTING RETAINING WALL

EXISTING FENCE

EXISTING TREE AND DESIGNATION

EXISTING TREE LINE

EXISTING DIRECTIONAL ARROWS

EXISTING PAINT

EXISTING UTILITY POLE

EXISTING LIGHT POLE

EXISTING SIGN

PROPOSED BUILDING LINE

PROPOSED CONCRETE CURB

PROPOSED DROP CURB & RAMP

PROPOSED SAWCUT LINE

PROPOSED ACCESSIBLE PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)

PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)

PROPOSED CONCRETE SIDEWALK

PROPOSED MONOLITHIC CONCRETE SIDEWALK & CURB

PROPOSED DROP CURB AND RAMP

PROPOSED PAVEMENT

PROPOSED RETAINING WALL (DESIGN BY OTHERS)

PROPOSED FENCE

PROPOSED DOUBLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)

PROPOSED SINGLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)

NOTES:

1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC & UTILITY SURVEY," PREPARED BY JMC PLLC, DATED 09/08/2025.

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LAYOUT PLAN

235 ELM ROAD

VILLAGE OF

BRIARCLIFF MANOR

NEW YORK

Drawn: CS

Scale: 1" = 50'

Date: 10/14/2025

Project No: 24072

24072-LAY

LAY

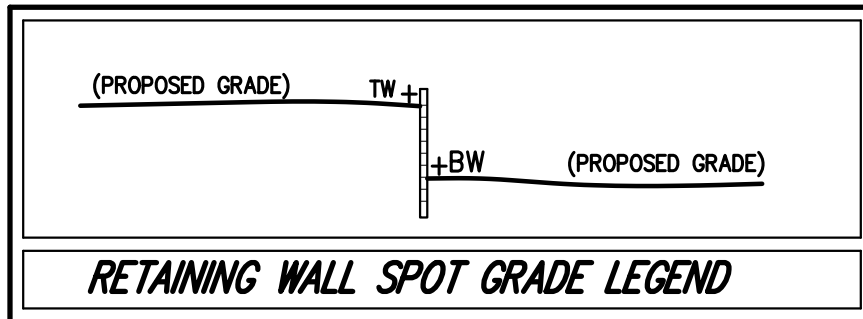
LAY

Drawing No: C-110

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LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING RETAINING WALL
	EXISTING FENCE
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED CONCRETE SIDEWALK
	PROPOSED DROP CURB AND RAMP
	PROPOSED FINISHED GRADE
	PROPOSED SPOT GRADE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED STORM DRAIN MANHOLE
	PROPOSED TYPE CI DRAIN INLET
	PROPOSED TYPE DI DRAIN INLET
	PROPOSED RIP-RAP SUMP
	PROPOSED HEADWALL
	PROPOSED WATER QUALITY STRUCTURE
	PROPOSED SUBSURFACE DRAINAGE
	PROPOSED OUTLET CONTROL STRUCTURE
	PROPOSED OUTLET CONTROL STRUCTURE
	PROPOSED END SECTION
	PROPOSED CLEANOUT
	PROPOSED HYDRANT
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED DOUBLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
	PROPOSED SINGLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
	BORING LOCATION AND DESIGNATION
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED DITCH OR SWALE
	PROPOSED RIP-RAP

- NOTES:
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC & UTILITY SURVEY," PREPARED BY JMC PLLC, DATED 09/08/2025.
 - GEOTECHNICAL BORINGS/TEST PIT LOCATIONS DEPICTED ON THIS PLAN WERE TAKEN FROM THE GEOTECHNICAL REPORT ENTITLED, "EXPLORATION LOCATIONS," DATED 10/11/2024, PREPARED BY SESI CONSULTING ENGINEERS.
 - ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER DURING CONSTRUCTION OF THE PRACTICE THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.

APPLICANT/OWNER	ROSE ENTERPRISES GROUP, INC. 8383 WILSHIRE BOULEVARD, SUITE 632 BEVERLY HILLS, CA 90211
ARCHITECT OF RECORD	SULLIVAN ARCHITECTURE, P.C. 31 MAMARONECK AVENUE, 7TH FLOOR WHITE PLAINS, NY 10601
JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC JMC Site Development Consultants, LLC John Meyer Consulting, Inc.	120 BEDFORD ROAD • ARTHUR, NY 10504 voice 914.273.5225 • fax 914.273.2102 www.jmcpllc.com
GRADING PLAN	235 ELM ROAD VILLAGE OF BRIARCLIFF MANOR NEW YORK
Scale: 1" = 50'	10/14/2025
Project No: 24072	24072-000 GRAD GRAD.sxd
Drawing No: C-210	

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DEED CONTROL NO. 422640372
SECTION 98.19
BLOCK 2
TAX LOT 15

DEED CONTROL NO. 592323603
SECTION 98.19
BLOCK 2
TAX LOT 14

DEED CONTROL NO. 611403814
SECTION 98.19
BLOCK 2
TAX LOT 13

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	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING RETAINING WALL
	EXISTING GUIDE RAIL
	EXISTING FENCE
	EXISTING STORM DRAIN LINE AND SIZE
	EXISTING SANITARY LINE AND SIZE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD WIRES
	EXISTING DRAIN INLET
	EXISTING MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING GAS VALVE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	PROPOSED BUILDING LINE
	PROPOSED CONCRETE CURB
	PROPOSED EASEMENT LINE
	PROPOSED CONCRETE SIDEWALK
	PROPOSED DROP CURB AND RAMP
	PROPOSED STORM DRAIN LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER MAIN LINE

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www.jmcpllc.com

JMC

UTILITIES PLAN

235 ELM ROAD
VILLAGE OF
RENAISSANCE
BRIARCLIFF MANOR
NEW YORK

Drawn: CS Approved: DV
Scale: 1" = 60'
Date: 10/14/2025
Project No: 24072
24072-01L UTIL UTIL
Drawing No: C-310