

# PRELIMINARY PUD APPROVAL DRAWINGS

# RENAISSANCE BRIARCLIFF MANOR

**TAX MAP SECTION 98.19 | BLOCK 2 | LOT 10 & 11  
WESTCHESTER COUNTY  
235 ELM ROAD  
VILLAGE OF BRIARCLIFF MANOR, NEW YORK**

**Applicant:**  
**ROSE ENTERPRISES GROUP, INC.**  
**8383 WILSHIRE BOULEVARD, SUITE 632**  
**BEVERLY HILLS, CA 90211**  
**(310) 880-6036**

**Attorney:**  
**ZARIN & STEINMETZ**  
**81 MAIN STREET, SUITE 415**  
**WHITE PLAINS, NY 10601**  
**(914) 682-7800**

**Site Planner, Civil & Traffic Engineer,**  
**Surveyor and Landscape Architect:**

**Architect of Record:**  
**SULLIVAN ARCHITECTURE, P.C.**  
**31 MAMARONECK AVENUE, 7TH FLOOR**  
**WHITE PLAINS, NY 10601**  
**(914) 761-6006**

**Geotechnical Engineer:**  
**SESI CONSULTING ENGINEERS**  
959 ROUTE 46E FLOOR 3, SUITE 300  
PARSIPPANY, NJ 07054  
(973) 808-0050



# ARCHITECTURAL RENDERING

## SOURCE: SULLIVAN ARCHITECTURE

## JMC DRAWING LIST:

- CS COVER SHEET
- C-000 OVERALL EXISTING CONDITIONS MAP
- C-070 DEMOLITION PLAN
- C-100 OVERALL SUBDIVISION PLAN
- C-110 LAYOUT PLAN
- C-210 GRADING PLAN
- C-310 UTILITIES PLAN

## TABLE OF LAND USE

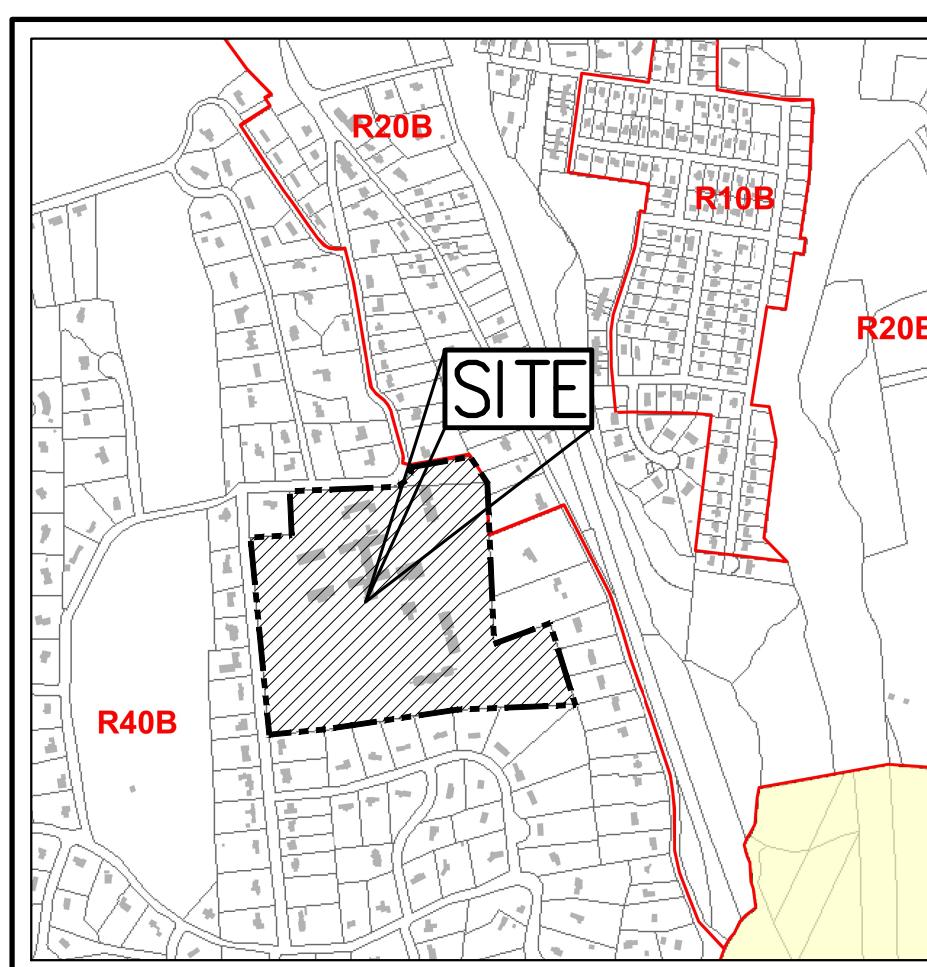
SECTION 98.19, BLOCK 2, LOT 11  
EXISTING ZONE: R-40B SINGLE-FAMILY RESIDENCE DISTRICT  
PROPOSED ZONE: DOWNTOWN ADJACENT PLANNED UNIT DEVELOPMENT (PUD) DISTRICT  
FIRE DISTRICT: BRIARCLIFF FIRE DISTRICT  
WATER DISTRICT: BRIARCLIFF MANOR VILLAGE WATER DISTRICT  
SCHOOL DISTRICT: BRIARCLIFF MANOR UFSD  
SEWER DISTRICT: SAW MILL SANITARY SEWER DISTRICT

DESCRIPTION	REQ'D (R-40B)	REQ'D (PUD)	EXISTING	PROPOSED
MAXIMUM DISTANCE FROM FRONTAGE TO CB1 DISTRICT (MILES)	N/A	0.75	0.7	0.7
MINIMUM SITE AREA (ACRES)	0.92	30	37.17	33.79
LOT WIDTH AT FRONT YARD SETBACK (FEET)	150	N/A	979.1	979.1
MAXIMUM BUILDING HEIGHT (FEET)	30	45	<45	<45
MAXIMUM IMPERVIOUS COVERAGE (%)	N/A	45	28.08	30.95
MAXIMUM BUILDING COVERAGE (%)	12	N/A	6.97	15.93

<b>PARKING SUMMARY</b>					
TOTAL SPACES REQUIRED	(SPACES)	2/UNIT	N/A	—	
TOTAL SPACES PROVIDED	(SPACES)	—	—	300	268
STANDARD SPACES PROVIDED	(SPACES)	—	—	294	264
HANDICAP SPACES PROVIDED	(SPACES)	—	—	6	4

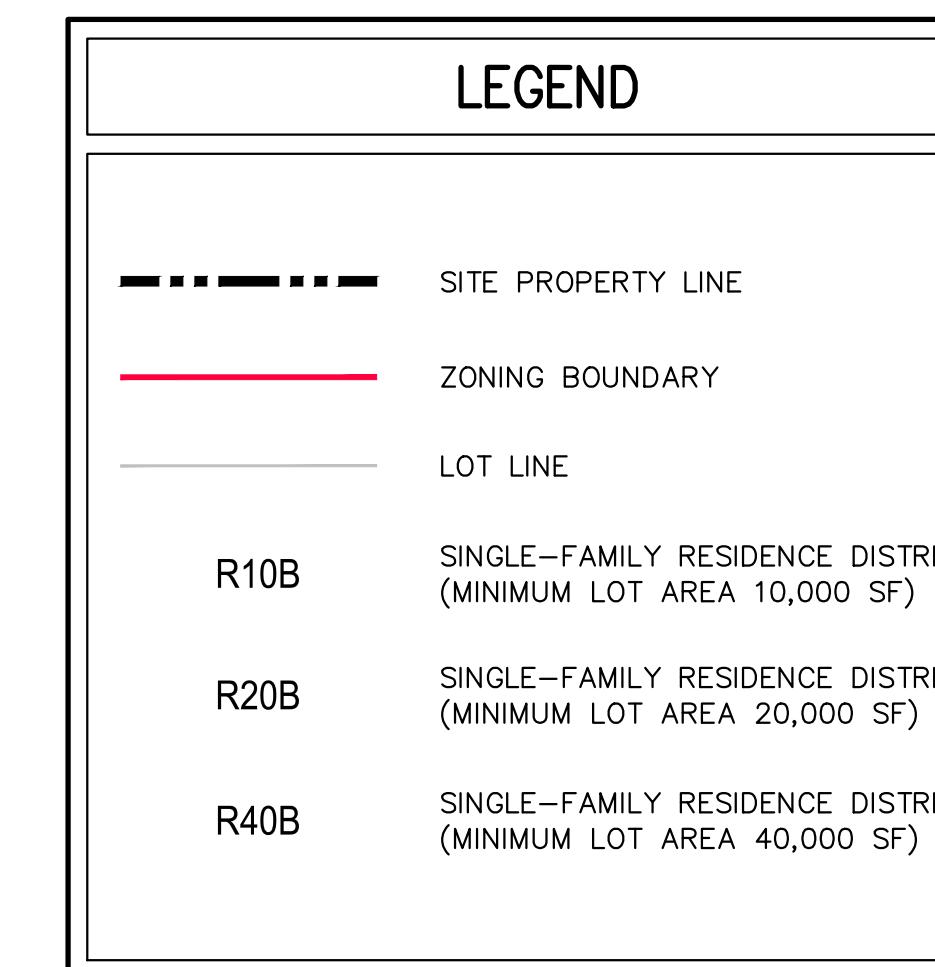
**GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:**

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7962) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INSOFAR AS THEY MAY BE ENDANGERED BY THE CONTRACTOR'S OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDUE INTERRUPTION OF UTILITY SERVICE.
2. CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC, PLLC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC, PLLC.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL LOCAL PERMITS REQUIRED.
4. ALL WORK SHALL BE DONE IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES, AND REGULATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA); AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISION OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYSDOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
5. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE. RAMPING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
6. CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF EXISTING PAVEMENT TO REMAIN.



# **ZONING MAP**

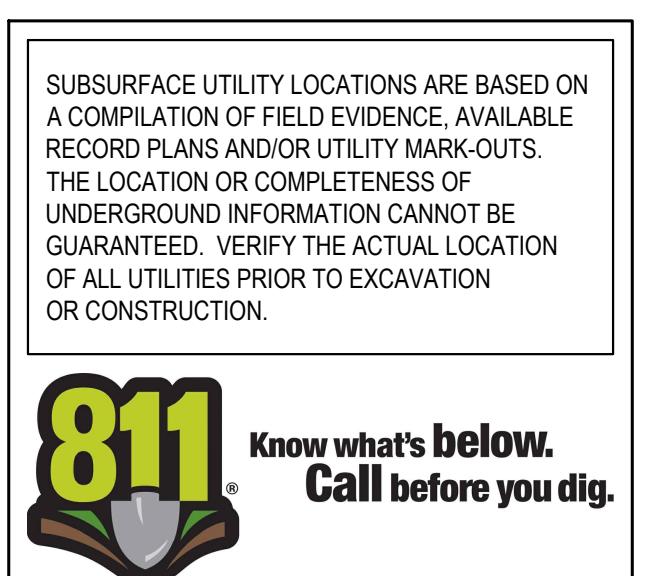
**SCALE: 1" = 1,000'**



## **VICINITY MAP**

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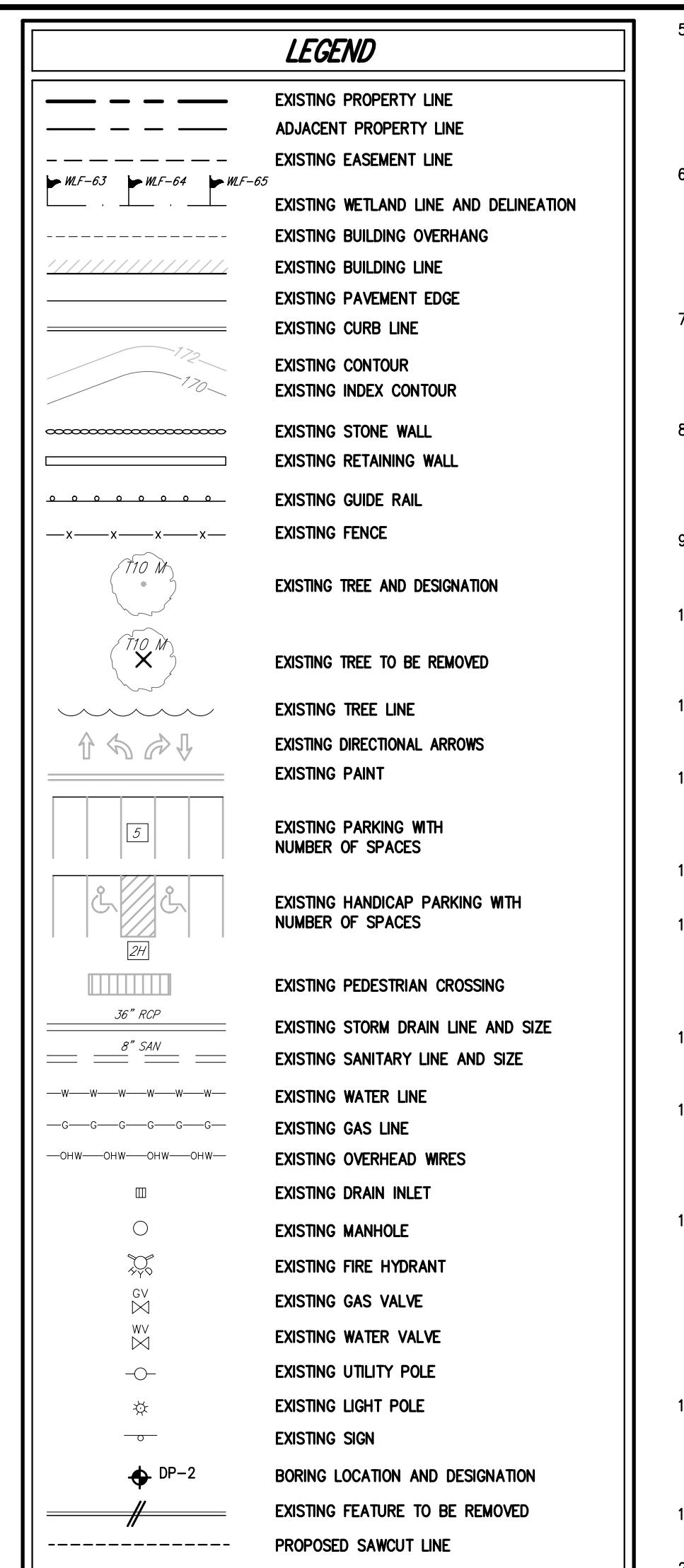


ANY ALTERATION OF PLANS,  
SPECIFICATIONS, PLATS AND  
REPORTS BEARING THE SEAL  
OF A LICENSED PROFESSIONAL  
ENGINEER OR LICENSED LAND  
SURVEYOR IS A VIOLATION OF  
ARTICLE 145 OF THE NEW  
YORK STATE EDUCATION LAW,  
EXCEPT AS PROVIDED FOR BY  
SECTION 7209, SUBSECTION 2.

Engineering, Landscape  
and Surveying, PLLC  
Engineering Consultants, LLC  
Consulting, Inc.  
• ARMONK, NY 10504  
5 • fax 914.273.2102  
[nycpllc.com](http://nycpllc.com)

IOT FOR CONSTRUCTION



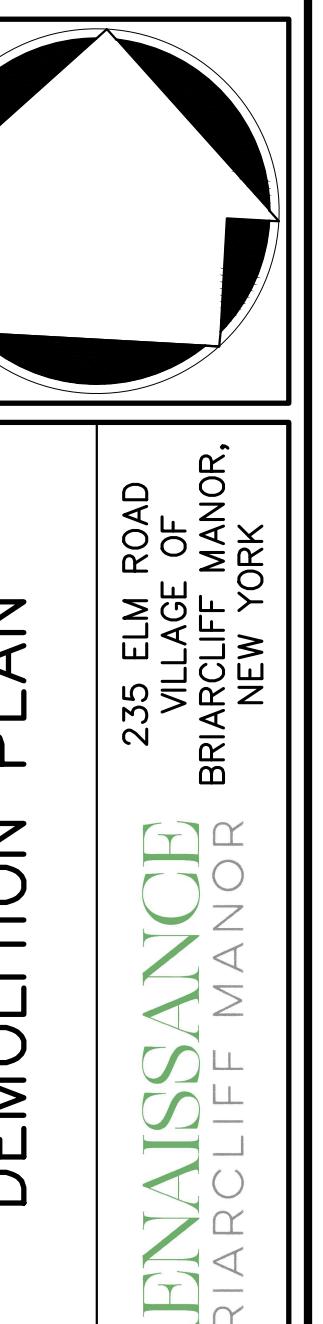


- The contractors shall coordinate the disconnection of all utilities with the utility company having jurisdiction prior to the start of demolition. Confirmation of disconnected utilities shall be provided to the Village of Briarcliff Manor Building Department in accordance with the requirements of the appropriate utility companies stating that gas and electric have been cut off shall be provided to the Village of Briarcliff Manor.
- The contractor shall obtain, and provide a copy to the Village of Briarcliff Manor, a sewer plug permit indicating that a licensed professional engineer has determined that the existing building, the contractor shall obtain, and provide a copy to the Village of Briarcliff Manor, a water use permit indicating that a licensed professional has cut and sealed all existing water service to the existing building.
- Any unsuitable material found on-site during construction shall be disposed of off-site in a manner approved by all authorities having jurisdiction and replaced with suitable material as required.
- All demolition and/or construction within the right-of-way, including streets and sidewalks, shall be performed in accordance with the Village of Briarcliff Manor.
- All construction/demolition debris not proposed to be recycled shall be removed and legally disposed of off-site in accordance with the regulations of all local, state and federal agencies having jurisdiction.
- Existing concrete may be stored on site, and recycled for use as compacted fill. All material to be used as fill shall be approved by the project geotechnical engineer.
- Prior to the start of site demolition, erosion and sediment control devices shall be installed in accordance with the Village of Briarcliff Manor and NYSDEC requirement, as required and/or directed by the Village of Briarcliff Manor or JMC.
- Existing drainage patterns on site shall be maintained to the maximum extent possible.
- All existing utility castings which are to remain shall be removed and reset to the new proposed grades in accordance with the directions of the owner's field representative. Existing castings which are damaged and unfit for installation in the new construction, as determined by the owner's field representative, shall be replaced.
- All existing sidewalk, curbs, pavement, etc. to remain, which are damaged and unfit for use in the new construction, shall be replaced with materials consistent with existing conditions.
- These plans are to be provided to both the demolition contractor and the site contractor for their use, information and coordination. Any questions of contractor responsibility and/or separation of work shall be directed to the general contractor in writing prior to issuance of bid.
- The owner shall retain a licensed and qualified professional, certified by the Village of Briarcliff Manor, to inspect for the presence of asbestos and/or other hazardous materials within demolished areas prior to the commencement of demolition. If inspection is required, the inspection shall be conducted in accordance with the Village of Briarcliff Manor asbestos rules and regulations and/or any authorities having jurisdiction. The contractor shall provide a copy of the inspection report to the Village of Briarcliff Manor prior to obtaining a demolition permit.
- The contractor shall exterminate rodents as required by Westchester County Department of Health and Mental Hygiene. A letter from the health department certifying that a licensed exterminator has been retained and is providing services shall be provided to the Village of Briarcliff Manor Department of Buildings.
- Prior to the start of any demolition, the contractor shall obtain all necessary permits and approvals from the Village of Briarcliff Manor and all other authorities having jurisdiction. Contractor shall pay all outstanding fees, charges, and deposits to acquire said permits. No demolition shall commence until a permit has been obtained from the Village of Briarcliff Manor.
- All existing trees not shown to be removed shall be protected during construction.

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ARCHITECT/RECORD:  
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
JMC  
Architectural, Engineering, Landscape  
JMC Site Development Consultants, LLC  
120 BEDFORD ROAD • ARMONK, NY 10504  
voice 914.271.5225 • fax 914.271.2102  
www.jmcpa.com

JMC



Drawn: CS Approved: DV  
Scale: 1" = 50'  
Date: 10/14/2025  
Project No: 24072  
Drawing No: 24072-000 DEMO DEMO  
Drawing: C-070

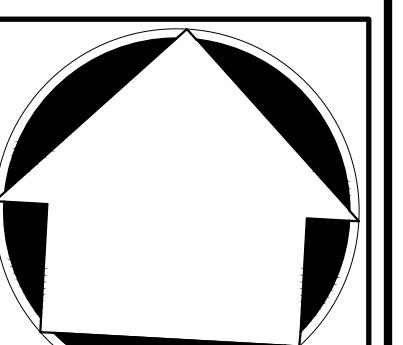
ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF ARTICLE 145 OF THE NEW YORK STATE CONSTRUCTION LAW, EXCEPT AS PROVIDED FOR BY SECTION 709, SUBSECTION 2.



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JMC



OVERALL  
SUBDIVISION PLAN  
RENAISSANCE  
BRIARCLIFF MANOR, NEW YORK

Map No. 25555  
Section 105.07  
Block 2  
Tax Lot 42

Map No. 25555  
Section 105.07  
Block 2  
Tax Lot 12

Map No. 25555  
Section 105.07  
Block 2  
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Block 2  
Tax Lot 165

Map No. 13292  
Section 105.07  
Block 2  
Tax Lot 166

Map No. 13292  
Section 105.07  
Block 2  
Tax Lot 167

Map No. 13292  
Section 105.07  
Block 2  
Tax Lot 168

Map No. 13292  
Section 105.07  
Block 2  
Tax Lot 169

Map No. 13292  
Section 105.07  
Block 2  
Tax Lot 170

Map No. 13292  
Section 105.07  
Block 2  
Tax Lot 171

Map No. 13292  
Section 105.07  
Block 2  
Tax Lot 172

Map No. 13292  
Section 105.07  
Block 2  
Tax Lot 173

Map No. 13292  
Section 105.07  
Block 2  
Tax Lot 174

Map No. 13292  
Section 105.07  
Block 2  
Tax Lot 175

Map No. 13292  
Section 105.07  
Block 2  
Tax Lot 176

Map No. 13292  
Section 105.07  
Block 2  
Tax Lot 177

Map No. 13292  
Section 105.07  
Block 2  
Tax Lot 178

Map No. 13292  
Section 105.07  
Block 2  
Tax Lot 179

Map No. 13292  
Section 105.07  
Block 2  
Tax Lot 180

Map No. 13292  
Section 105.07  
Block 2  
Tax Lot 181

Map No. 13292  
Section 105.07  
Block 2  
Tax Lot 182

Map No. 13292  
Section 105.07  
Block 2  
Tax Lot 183

Map No. 13292  
Section 105.07  
Block 2  
Tax Lot 184

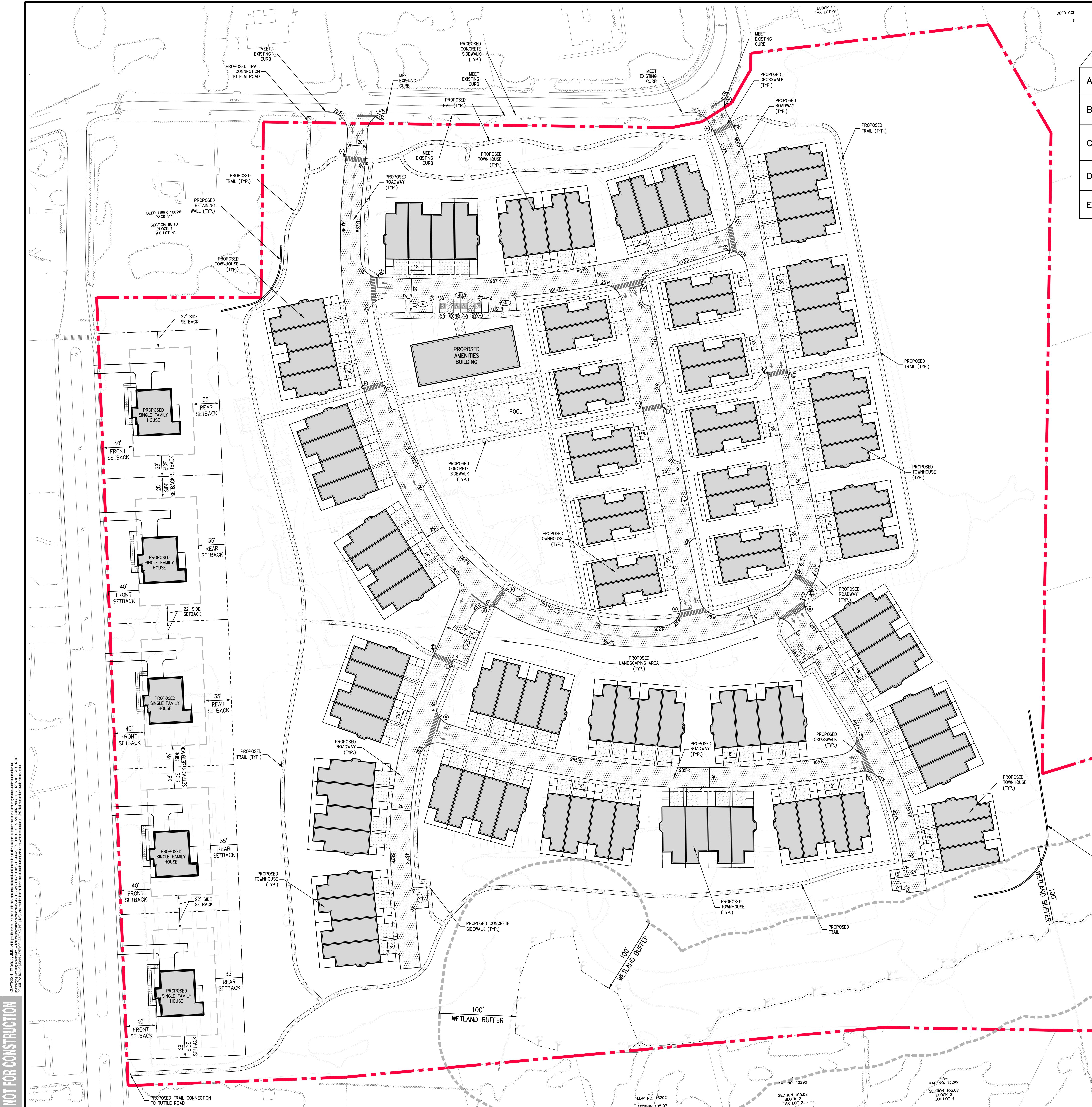
Map No. 13292  
Section 105.07  
Block 2  
Tax Lot 185

Map No. 13292  
Section 105.07  
Block 2  
Tax Lot 186

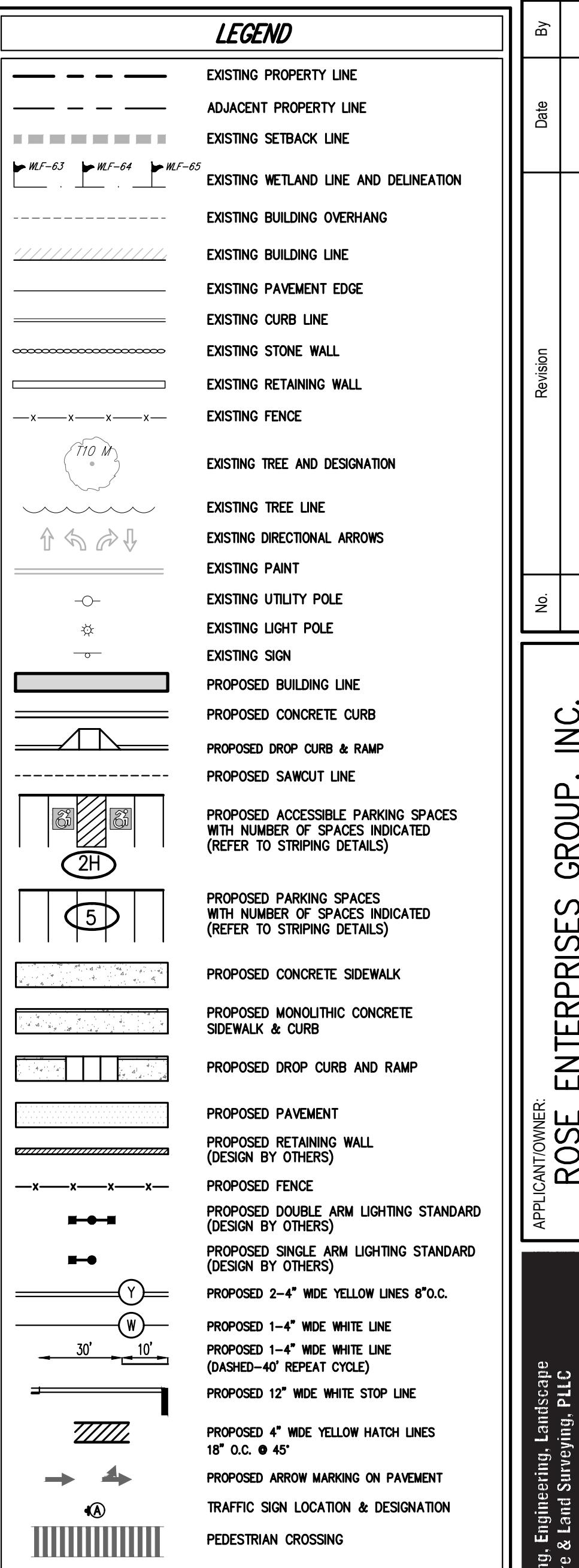
Map No. 13292  
Section 105.07  
Block 2  
Tax Lot 187

Map No. 13292  
Section 105.07  
Block 2  
Tax Lot 188

Map No. 13292  
Section 105.0

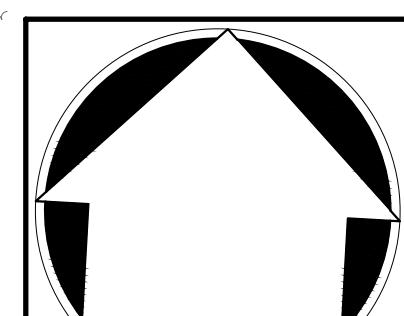


SIGN TABLE							
DESIGNATION NUMBER	SIGN	SIZE	DESCRIPTION	MOUNTING TYPE	MOUNTING HEIGHT	REGULATORY	REFLECTORIZED
A		30"X30"	WHITE ON RED	STEEL CHANNEL	7'-0"	R1-1	X
B		12"X18"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-8	X
C		12"X18" 12"X6"	GREEN & BLUE ON WHITE	STEEL CHANNEL	7'-0"	R7-8 R7-8A	X
D		12"X18"	RED ON WHITE	STEEL CHANNEL	7'-0"	NYP1-2	X
E		30"X30" 24"X12"	BLACK ON YELLOW	STEEL CHANNEL	7'-0"	W11-2 W16-7PL	X



## NOTES:

1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "TOPOGRAPHIC & UTILITY SURVEY," PREPARED BY JMC PLLC, DATED 09/08/2025.



AVOID DI ANI

# RENAISSANCE

